

Wingecarribee Local Planning Panel Meeting - 26 November 2025 Attachments

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Planning Proposal

to amend Wingecarribee Local Environmental Plan 2010

PP-2025-1438

Purpose of Amendment:

This Planning Proposal seeks to amend the Wingecarribee Local Environmental Plan (WLEP) 2010 to include *tourist and visitor accommodation* as permitted with consent in the E1 Local Centre zone, providing for, at least, *backpackers' accommodation, bed and breakfast accommodation, hotel and motel accommodation and serviced apartments*.

Prepared by Wingecarribee Shire Council in accordance with the Local Environmental Plan Making Guideline (August 2023)

The Planning Proposal has been categorised as *Standard*

Version 3 for Finalisation

November 2025

We're with you

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Introduction

Description

The Planning Proposal seeks to amend the Wingecarribee Local Environmental Plan (WLEP) 2010 to include *tourist and visitor accommodation* as permitted with consent in the E1 Local Centre zone, providing for, at least, *backpackers' accommodation, bed and breakfast accommodation, hotel and motel accommodation* and *serviced apartments*.

This a whole of Shire Planning Proposal.

Part 1 – Objectives & Intended Outcomes of the Planning Proposal

This Planning Proposal seeks to amend WLEP 2010 to permit with consent *backpackers' accommodation, bed and breakfast accommodation* and *serviced apartments* within the E1 Local Centre zone in addition to *hotel or motel accommodation* which is already permitted with consent. All proposed land uses are a form of *tourist and visitor accommodation* under the Standard Instrument Dictionary.

On 26 April 2023 the Wingecarribee Local Environmental Plan (WLEP) 2010 was amended to reflect amendments to the Standard Instrument LEP. These amendments replaced the previous B1-B7 business zones with E1-E5 employment zones. In so doing, the previous B1 Neighbourhood Centre and B2 Local Centre zones were combined into a new E1 Local Centre zone. Under the previous B1 zone, the group land use term *tourist and visitor accommodation* was prohibited without exceptions while under the previous B2 Local Centre zone, *tourist and visitor accommodation* was permitted with consent without exceptions.

The Standard Instrument LEP Dictionary identifies the group term *tourist and visitor accommodation* as comprising the following specific land use terms - *backpackers' accommodation, bed and breakfast accommodation, farm stay accommodation, hotel and motel accommodation* and *serviced apartments*.

Under the new E1 zone, the Department included only *hotel and motel accommodation* as permitted with consent. The result of this decision was that land which has previously been zoned B2 and within which all forms of *tourist and visitor accommodation* were previously permitted with consent, is now restricted to *hotel or motel accommodation* with other approved forms of *tourist and visitor accommodation* now relying on existing use rights. Properties within the E1 zone seeking a new approval for *tourist and visitor accommodation* are restricted to *hotel or motel accommodation* only.

Council has received requests from smaller town and village associations, including Robertson and Bundanoon, seeking support to enable a broader range of *tourist and visitor accommodation*, particularly *backpackers' accommodation*, *bed and breakfast accommodation* and *serviced apartments*, being land uses well suited to these locations and which make a valuable contribution to their local visitor economy.

Council discussed this Planning Proposal with the Department of Planning, Housing and Infrastructure's Local Planning and Council Support (Southern, Western and Macarthur Region) and received in principle support for the proposed amendment. A Gateway Determination was subsequently issued on 18 August 2025. No state agency referrals were required.

Although the proposed amendment would enable all forms of *tourist and visitor accommodation* within the smaller towns and villages which were previously zoned B1, this is not considered to be potential detrimental to those Local Centres due to the application of clause 7.11 of WLEP 2010 which was introduced into WLEP2010 when the E zone amendments came into force. This clause applies to all E1 zoned land which was previously zoned B1 and, as the objectives indicate, is to ensure that the character and amenity of these smaller areas, many of which have historical significance, are protected in the assessment of any Development Application, be it for a form of *tourist and visitor accommodation* or any other development permitted with consent in the E1 zone. Clause 7.11 is reproduced below.

7.11 Development in local centres

(1) *The objectives of this clause are as follows—*

- (a) *to ensure the scale and function of development in local centres are appropriate for the location,*
- (b) *to ensure development in local centres is compatible with the desired future character and amenity of surrounding residential areas.*

(2) *This clause applies to land identified as "Area A" on the [Land Zoning Map](#).*

(3) *Development consent must not be granted to development on land to which this clause applies unless the consent authority has considered—*

- (a) *the impact of the development on—*
 - (i) *the amenity of surrounding residential areas, and*
 - (ii) *the desired future character of the local centre, and*
- (b) *whether the development is consistent with the hierarchy of centres.*

These provisions apply in addition to any provisions incorporated into the new comprehensive DCP.

It is noted that *Farm stay accommodation*, which is also a form of *tourist and visitor accommodation*, is not specifically included in this proposed amendment as this land use applies only to a working farm and this Proposal is limited to the E1 Local Centre employment zone only. However, it is further noted that the Parliamentary Counsel's Office (PCO) prefers to use its discretion in determining how best to reflect supported amendments within a Local Environmental Plan.

The role of the Planning Proposal is to identify those specific terms within the group term *tourist and visitor accommodation* which Council deems a desirable minimum to include as permitted with consent in the E1 Local Centre zone, namely *backpackers' accommodation, bed and breakfast accommodation, hotel and motel accommodation and serviced apartments*.

The Planning Proposal does not affect current complying development pathways which may apply under relevant State Environmental Planning Policies, or to the operation of short term rental accommodation.

Part 2 - Explanation of the Provisions

- To achieve the intended outcomes of the Planning Proposal the following amendments to the WLEP 2010 instrument will be required:
 - Add backpackers' accommodation, bed and breakfast accommodation, hotel or motel accommodation and serviced apartments as permitted with consent in the E1 Local Centre zone. This could be achieved by listing each term specifically, or replacing individual terms with the group term Tourist and Visitor Accommodation. It is noted that farm stay accommodation is also a form of tourist or visitor accommodation, but it is unlikely that the E1 zone would contain any farms to which this land use would apply. It will be at the discretion of the Parliamentary Counsel's office as to how the amendment is finally inserted.
 - No maps are required for this amendment.

Part 3 - Justification of Strategic & Site-specific Merit

Strategic Merit

The objectives of the E1 zone are:

- To provide a range of retail, business and community uses that serve the needs of people who live in, work in or visit the area.
- To encourage investment in local commercial development that generates employment opportunities and economic growth.
- To enable residential development that contributes to a vibrant and active local centre and is consistent with the Council's strategic planning for residential development in the area.
- To encourage business, retail, community and other non-residential land uses on the ground floor of buildings.
- To generally conserve and enhance the unique sense of place of business centre precincts by ensuring new development integrates with the distinct urban scale, character, cultural heritage and landscape setting of the precincts, particularly when located within a heritage conservation area or where the development may impact a heritage item.

- To ensure adequate provision is made for infrastructure that supports the viability of business centre precincts, including public car parking, traffic management facilities, public transport facilities, cyclist facilities, pedestrian access paths, amenities, facilities for older people and people with disabilities and general public conveniences.
- To maximise the efficient use of land in business centre precincts to promote more compact and accessible places.
- To ensure new development has regard to the character and amenity of adjacent and nearby residential areas.

Permitting *tourist and visitor accommodation* within the E1 Local Centre provides opportunities for property owners to diversify their existing businesses and increased overnight visitation would benefit the entire local economy. It would also contribute to the efficient use of existing business areas. Increased visitation could enhance the viability of existing recreation infrastructure and support funding to extend it further.

Management of associated infrastructure provisions would not necessarily create an additional burden as these are aspects of any new development and would be addressed through the Development Application process. This process would also ensure that new development has regard to the character and amenity of adjacent and nearby residential areas.

More modest forms of *tourist and visitor accommodation* within the E1 Local Centre, other than just *hotel or motel accommodation*, would encourage adaptive reuse of buildings which would enhance the presentation of the town and village and offer protection to heritage buildings. Increased visitation could enhance the viability of existing recreation infrastructure and provide funding to extend it further.

Management of associated infrastructure provisions would not necessarily create an additional burden as these are aspects of any new development and would be addressed through the Development Application process. This process would also ensure that new development has regard to the character and amenity of adjacent and nearby residential areas.

The Wingecarribee Local Strategic Planning Statement (WLSPS) includes several references to the importance of tourism to the local economy, noting that *tourism is a key economic driver for the Shire and an important component of the Southern Highlands economy. Tourism provides employment opportunities across a broad age range and across a broad range of skill sets, as well as flow-on employment opportunities in related industries.* (page 37)

Planning Priority 3.19 (Our Shire supports businesses and attracts people to work, live and visit) within the Wingecarribee LSPS address tourism:

Wingecarribee Shire Council is committed to developing and promoting the Southern Highlands as a destination in which to live, work, invest, play, learn, visit and enjoy. Our Shire has a healthy and diverse economy, driven by the health, tourism, education, manufacturing, agriculture, construction and professional industry sectors. Our proximity to Sydney, Canberra and Wollongong provides a strong base for economic development, and our natural areas, rural landscapes and vibrant towns and villages will continue to support our visitor economy. (page 40)

Identified Actions to achieve this outcome include:

- *ensure our planning framework facilitates new and innovative business opportunities, and*
- *ensure our planning framework facilitates a broad range of tourism opportunities and balances the economic benefits of tourism with impacts on our environment and community.*

This Planning Proposal specifically implements these two identified Actions.

It is further noted that certain forms of *tourist and visitor accommodation* support local workers as well as tourists. *Backpacker accommodation* and *serviced apartments* particularly serve this use. Increased opportunities to provide such accommodation benefit the Shire more broadly and not just the visitor economy.

Site-specific Merit

It is proposed that *tourist and visitor accommodation* be permitted with consent in the E1 zone. The location and size of E1 zones varies across the Shire. It is the role of the Development Application process to determine if a specific site is suitable for a specific form of this land use. A new comprehensive Wingecarribee Local Environmental Plan is currently being prepared. It will include specific objectives and controls for the assessment of *tourist and visitor accommodation* which will be applied as appropriate to each proposed locality.

Section A – Need for the Planning Proposal

1 - Is the Planning Proposal a result of an endorsed LSPS, strategic study or report?

The Planning Proposal is not the result of Council's endorsed LSPS, but it does align with the Wingecarribee LSPS which identifies two actions to

- *ensure our planning framework facilitates new and innovative business opportunities, and*
- *ensure our planning framework facilitates a broad range of tourism opportunities and balances the economic benefits of tourism with impacts on our environment and community.*

The Planning Proposal seeks to achieve these outcomes. Further detail is provided at Part 4 below.

2 - Is the Planning Proposal the best means of achieving the objectives or intended outcomes or is there a better way?

The Department of Planning, Housing and Infrastructure has advised that it does not support the amendment being achieved under clause 3.22 of the *Environmental Planning & Assessment Act 1979* given that these land uses were not previously permitted in the B1 zone. Therefore, a Planning Proposal is required to enable community consultation.

Section B – Relationship to the Strategic Planning Framework

3 - Will the Planning Proposal give effect to the objectives and actions of the SE & Tablelands Regional Plan (including any draft plans or strategies)?

Direction 8 of the SE & Tablelands Regional Plan 2036 (Protecting important agricultural land) is identified as attracting tourism with accommodation in nearby towns and villages ideally placed to support this Direction.

Direction 9 is to grow tourism in the region. Tourist and visitor accommodation across the towns and villages of the Shire is crucial to initiating this Direction. Tourism is recognised as essential to regional prosperity, heading the list of priority growth sectors for the region.

Direction 12 (Promote business activities in urban centres) recognises the role tourism plays in supporting these centres. Tourist and visitor accommodation would enhance these initiatives. Action 12.2 (Encourage mixed use developments that cater for commercial, retail, residential and tourism uses through local planning controls) relates directly to this Planning Proposal.

The draft SE & Tablelands Regional Plan 2041 includes the objective of promoting a year-round visitor economy. Supporting this objective is Strategy 12.3 *to investigate the suitability of tourist and visitor accommodation and supporting land uses in strategic centres*. The draft Plan also recognises the importance of tourist and visitor accommodation in providing worker accommodation thereby supporting broad economic goals.

The Planning Proposal supports all of these Regional objectives, strategies and actions.

4 - Is the Planning Proposal consistent with Council's adopted and endorsed Local Strategic Planning Statement and Local Housing Strategy?

The Wingecarribee Local Strategic Planning Statement (WLSPS) includes several references to the importance of tourism to the local economy, noting that *tourism is a key economic driver for the Shire and an important component of the Southern Highlands economy. Tourism provides employment opportunities across a broad age range and across a broad range of skill sets, as well as flow-on employment opportunities in related industries.* (page 37)

Planning Priority 3.19 (Our Shire supports businesses and attracts people to work, live and visit) within the Wingecarribee LSPS addresses tourism:

Wingecarribee Shire Council is committed to developing and promoting the Southern Highlands as a destination in which to live, work, invest, play, learn, visit and enjoy. Our Shire has a healthy and diverse economy, driven by the health, tourism, education, manufacturing, agriculture, construction and professional industry sectors. Our proximity to Sydney, Canberra and Wollongong provides a strong base for economic development, and our natural areas, rural landscapes and vibrant towns and villages will continue to support our visitor economy. (page 40)

Identified Actions to achieve this outcome include:

- ensure our planning framework facilitates new and innovative business opportunities, and

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- ensure our planning framework facilitates a broad range of tourism opportunities and balances the economic benefits of tourism with impacts on our environment and community.

This Planning Proposal specifically implements these two identified LSPS Actions.

5 - Is the Planning Proposal consistent with any other applicable State and regional studies or strategies?

No additional state or regional studies or strategies have been referenced in this Planning Proposal.

6 - Is the Planning Proposal consistent with applicable SEPPs?

SEPP (Housing) 2021	<i>The intent of this SEPP is to deliver a sufficient supply of safe, diverse and affordable housing</i> https://legislation.nsw.gov.au/view/html/inforce/current/epi-2021-0714
Assessment – Consistent <i>The principles of this Policy are:</i> <ul style="list-style-type: none">(a) enabling the development of diverse housing types, including purpose-built rental housing,(b) encouraging the development of housing that will meet the needs of more vulnerable members of the community, including very low to moderate income households, seniors and people with a disability,(c) ensuring new housing development provides residents with a reasonable level of amenity,(d) promoting the planning and delivery of housing in locations where it will make good use of existing and planned infrastructure and services,(e) minimising adverse climate and environmental impacts of new housing development,(f) reinforcing the importance of designing housing in a way that reflects and enhances its locality,(g) supporting short-term rental accommodation as a home-sharing activity and contributor to local economies, while managing the social and environmental impacts from this use,(h) mitigating the loss of existing affordable rental housing. <i>The Planning Proposal is considered consistent with this SEPP because it is offering alternatives to housing supply for tourist and visitors, and workers, which does not involve the use of dwelling houses for short term rental accommodation (STRA).</i>	

SEPP (Transport and Infrastructure) 2021	<i>The intent of this SEPP is to provide well-designed and located transport and infrastructure integrated with land use</i> https://legislation.nsw.gov.au/view/html/inforce/current/epi-2021-0732
Assessment – Consistent <i>The key intentions of this SEPP include:</i>	

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- (a) improving regulatory certainty and efficiency through a consistent planning regime for infrastructure and the provision of services, and
- (b) providing greater flexibility in the location of infrastructure and service facilities, and
- (c) allowing for the efficient development, redevelopment or disposal of surplus government owned land, and
- (d) identifying the environmental assessment category into which different types of infrastructure and services development fall (including identifying certain development of minimal environmental impact as exempt development), and
- (e) identifying matters to be considered in the assessment of development adjacent to particular types of infrastructure development, and
- (f) providing for consultation with relevant public authorities about certain development during the assessment process or prior to development commencing, and
- (g) providing opportunities for infrastructure to demonstrate good design outcomes.

The Planning Proposal is considered consistent with this SEPP because the provision of tourist and visitor accommodation is considered a form of infrastructure essential to supporting the visitor economy and providing short term worker accommodation.

SEPP (Primary Production)

The intent of this SEPP is to support and protect the productivity of important agricultural lands. They enhance rural and regional economies through a sustainable, diverse and dynamic primary production sector that can meet the changing needs of a growing NSW.

<https://legislation.nsw.gov.au/view/html/inforce/current/epi-2021-0729>

The key aims of this SEPP are:

- (a) to facilitate the orderly economic use and development of lands for primary production,
- (b) to reduce land use conflict and sterilisation of rural land by balancing primary production, residential development and the protection of native vegetation, biodiversity and water resources,
- (c) to identify State significant agricultural land for the purpose of ensuring the ongoing viability of agriculture on that land, having regard to social, economic and environmental considerations,
- (d) to simplify the regulatory process for smaller-scale low risk artificial waterbodies, and routine maintenance of artificial water supply or drainage, in irrigation areas and districts, and for routine and emergency work in irrigation areas and districts,
- (e) to encourage sustainable agriculture, including sustainable aquaculture,
- (f) to require consideration of the effects of all proposed development in the State on oyster aquaculture,
- (g) to identify aquaculture that is to be treated as designated development using a well-defined and concise development assessment regime based on environment risks associated with site and operational factors.

The Planning Proposal is considered consistent with this SEPP because it is not contrary to any of the key aims of the SEPP.

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SEPP (Biodiversity and Conservation) 2021	<p><i>The intent of this SEPP is to preserve, conserve and manage NSW's natural environment & heritage</i></p> <p>https://legislation.nsw.gov.au/view/html/inforce/current/epi-2021-0722</p>
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Assessment – Consistent

The aims of this SEPP are:

- (a) to protect the biodiversity values of trees and other vegetation in non-rural areas of the State, and*
- (b) to preserve the amenity of non-rural areas of the State through the preservation of trees and other vegetation.*

It is noted that 2.3(1)(b) of the SEPP identifies land within the R3 Medium Density Residential zone as land to which the SEPP applies.

The Planning Proposal is considered consistent with this SEPP because it is not contrary to any of the key aims of the SEPP.

SEPP (Resilience and Hazards) 2021	<p><i>The intent of this SEPP is to manage risks and building resilience in the face of hazards</i></p> <p>https://legislation.nsw.gov.au/view/html/inforce/current/epi-2021-0730</p>
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Assessment – Consistent

The key aims of that part of the SEPP applicable to the Shire include:

- (d) to ensure that in determining whether a development is a hazardous or offensive industry, any measures proposed to be employed to reduce the impact of the development are taken into account, and*
- (e) to ensure that in considering any application to carry out potentially hazardous or offensive development, the consent authority has sufficient information to assess whether the development is hazardous or offensive and to impose conditions to reduce or minimise any adverse impact*

The Planning Proposal is considered consistent with this SEPP because it is not contrary to any of the key aims of the SEPP.

SEPP (Industry and Employment) 2021 –	<p><i>The intent of this SEPP is to grow a competitive and resilient economy that is adaptive, innovative and delivers jobs</i></p> <p>https://legislation.nsw.gov.au/view/html/inforce/current/epi-2021-0723</p>
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Assessment – Consistent

The provisions of Chapter 3 (Advertising & Signage) are the only part of this SEPP applicable to land in Wingecarribee Shire. The Planning Proposal is considered consistent with this SEPP because it is not contrary to any of the key aims of the SEPP.

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SEPP (Resources and Energy) 2021	<p><i>The intent of this SEPP is to promote the sustainable use of NSW's resources and transitioning to renewable energy</i></p> <p>https://legislation.nsw.gov.au/view/html/inforce/current/epi-2021-0731</p>
<p>Assessment – Consistent</p> <p><i>The provisions of Chapter 2 (Mining, petroleum production & extractive industries) are the only part of this SEPP applicable to land in Wingecarribee Shire. The Planning Proposal is considered consistent with this SEPP because it is not contrary to any of the key aims of the SEPP.</i></p>	
SEPP (Planning Systems) 2021	<p><i>The intent of this SEPP is to provide a strategic and inclusive planning system for the community & the environment</i></p> <p>https://legislation.nsw.gov.au/view/html/inforce/current/epi-2021-0724</p>
<p>Assessment – Consistent</p> <p><i>The provisions of this SEPP address State significant development and land owned by an Aboriginal Land Council and are therefore not relevant to this Planning Proposal.</i></p>	
SEPP (Regional Precincts) 2021	<p><i>The intent of this SEPP is to consider State significant precincts, Activation precincts and other specific precincts including the Southern Highlands Regional Shooting Complex</i></p> <p>https://legislation.nsw.gov.au/view/html/inforce/current/epi-2021-0727</p>
<p>Assessment – Consistent</p> <p><i>The only provisions of this SEPP which apply to Wingecarribee Shire relate to the Southern Highlands Regional Shooting Complex and is therefore not relevant to this Planning Proposal.</i></p>	

7 - Is the Planning Proposal consistent with applicable s9.1 Ministerial Directions?

Focus Area 1 Planning Systems	<p><i>The intent of this Focus Area is to support the broader NSW planning framework, including its processes and collaborative approaches to strategic and land use planning and decision making. They seek to achieve long-term, evidence-based, strategically led planning that is inclusive, democratic, responsive to the community and the environment, and ensures decisions are transparent and prompt.</i></p>
1.1 Implementation of Regional Plans	
<p>Assessment – Consistent</p> <p><i>The objective of this Direction is to give legal effect to the vision, land use strategy, goals, directions and actions contained in Regional Plans.</i></p> <p><i>The Planning Proposal is considered consistent with this Direction because it aligns with adopted Strategies and Plans including state, regional and local.</i></p>	
1.2 Development of Aboriginal Land Council land	
<p>Assessment – Consistent</p> <p><i>The objective of this direction is to provide for the consideration of development delivery plans prepared under Chapter 3 of the State Environmental Planning Policy (Planning Systems) 2021 when planning proposals are prepared by a planning proposal authority.</i></p>	

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<i>The Planning Proposal is considered consistent with this Direction because no Aboriginal Land Council land is involved.</i>	
1.3 Approval and Referral Requirements	
Assessment – Consistent	
<i>The objective of this Direction is to ensure that LEP provisions encourage the efficient and appropriate assessment of development.</i>	
<i>The Planning Proposal is considered consistent with this Direction because it is not contrary to any of the key aims of the SEPP.</i>	
1.4 Site Specific Provisions	
Assessment – Consistent	
<i>The objective of this Direction is to discourage unnecessarily restrictive site-specific planning controls.</i>	
<i>The Planning Proposal is considered consistent with this Direction because it is not contrary to any of the key aims of the SEPP.</i>	
1.5 – 1.22 – Planning Systems Place Based	
Assessment – Consistent	
<i>None of these place-based Directions apply to Wingecarribee Shire.</i>	

Focus Area 2 Design & Place	<i>The intent of this Focus Area is to establish quality design approaches for new development, public spaces and the environment. They promote the design of places that are healthy, sustainable, prosperous, and supportive of people, the community and Country.</i>
NB: This Focus Area is not included in the current Ministerial Directions.	

Focus Area 3 Biodiversity & Conservation	<i>The intent of this Focus Area is to recognise the fundamental importance of protecting, conserving and managing NSW's natural environment and heritage. They help balance the needs of built and natural environments, respecting both the innate and economic value of the state's biodiversity and natural assets.</i>
3.1 Conservation Zones (previously 2.1 Environment Protection Zones)	
Assessment – Consistent	
<i>The objective of this Direction is to protect and conserve environmentally sensitive areas.</i>	
<i>The Planning Proposal is considered consistent with this Direction because it applies to the E1 Local Centre zone only.</i>	
3.2 Heritage Conservation	
Assessment – Consistent	
<i>The objective of this Direction is to conserve items, areas, objects and places of environmental heritage significance and indigenous heritage significance.</i>	
<i>The Planning Proposal is considered consistent with this Direction because it will enhance opportunities for adaptive reuse of heritage items for tourism and visitor accommodation.</i>	

3.3 Sydney Drinking Water Catchments

Assessment – Consistent

The objective of this Direction is to provide for healthy catchments and protect water quality in the Sydney Drinking Water Catchment. This Direction requires that a Planning Proposal must be prepared in accordance with the general principle that water quality within the Sydney drinking water catchment must be protected, and in accordance with the following specific principles:

- (a) new development within the Sydney drinking water catchment must have a neutral or beneficial effect on water quality (including groundwater), and*
- (b) future land use in the Sydney drinking water catchment should be matched to land and water capability, and*
- (c) the ecological values of land within a Special Area should be maintained.*

The Planning Proposal is considered consistent with this Direction because it does not impact any existing WaterNSW policies, standards or procedures.

No state agency referrals were required under the Gateway Determination.

3.4 Application of C2 and C3 Zones and Environmental Overlays in Far North Coast LEPs

Assessment – Consistent

This Direction is not applicable to Wingecarribee Shire.

3.5 Recreation Vehicle Areas

Assessment – Consistent

The objective of this Direction is to protect sensitive land or land with significant conservation values from adverse impacts from recreation vehicles.

The Planning Proposal is considered consistent with this Direction because it is not contrary to any of the key aims of the SEPP.

Focus Area 4 Resilience & Hazards

The intent of this Focus Area is to improve responses to natural and development-related hazards, and climate change. They support methods to consider and reduce risk. The principles promote healthy, resilient and adaptive communities, urban areas and natural environments.

4.1 Flooding

Assessment – Consistent

The objectives of this Direction are to:

- (a) ensure that development of flood prone land is consistent with the NSW Government's Flood Prone Land Policy and the principles of the Floodplain Development Manual 2005, and*
- (b) ensure that the provisions of an LEP that apply to flood prone land are commensurate with flood hazard and includes consideration of the potential flood impacts both on and off the subject land.*

The Planning Proposal is considered consistent with this Direction because it is not contrary to any of the key aims of the SEPP.

4.2 Coastal Management

Assessment – Consistent - *This Direction is not applicable to Wingecarribee Shire.*

4.3 Planning for Bushfire Protection (previously 4.4)	
Assessment – Consistent	
<p><i>The objectives of this Direction are to:</i></p> <p><i>(a) protect life, property and the environment from bush fire hazards, by discouraging the establishment of incompatible land uses in bush fire prone areas, and</i></p> <p><i>(b) encourage sound management of bush fire prone areas.</i></p> <p><i>The Planning Proposal is considered consistent with this Direction because it is not contrary to any of the key aims of the SEPP.</i></p>	
4.4 Remediation of Contaminated Land	
Assessment – Consistent	
<p><i>The objective of this Direction is to reduce the risk of harm to human health and the environment by ensuring that contamination and remediation are considered by planning proposal authorities.</i></p> <p><i>The Planning Proposal is considered consistent with this Direction because it is not contrary to any of the key aims of the SEPP.</i></p>	
4.5 Acid Sulphate Soils	
Assessment – Consistent	
<p><i>The objective of this Direction is to avoid significant adverse environmental impacts from the use of land that has a probability of containing acid sulfate soils. There currently no mapped acid sulphate soils in Wingecarribee Shire.</i></p>	
4.6 Mine Subsidence & Unstable Land	
Assessment – Consistent	
<p><i>The objective of this Direction is to prevent damage to life, property and the environment on land identified as unstable or potentially subject to mine subsidence.</i></p> <p><i>The Planning Proposal is considered consistent with this Direction because it is not contrary to any of the key aims of the SEPP.</i></p>	

Focus Area 5 Transport & Infrastructure	<p><i>The intent of this Focus Area is to support innovative, integrated and coordinated transport and infrastructure, that is well-designed, accessible and enduring. They seek to optimise public benefit and value by planning for modern transport and infrastructure in the right location and at the right time.</i></p>
5.1 Integrating Land Use and Transport	
Assessment – Consistent	
<p><i>The objective of this Direction is to ensure that urban structures, building forms, land use locations, development designs, subdivision and street layouts achieve the following planning objectives:</i></p> <p><i>(a) improving access to housing, jobs and services by walking, cycling and public transport, and</i></p> <p><i>(b) increasing the choice of available transport and reducing dependence on cars, and</i></p> <p><i>(c) reducing travel demand including the number of trips generated by development and the distances travelled, especially by car, and</i></p>	

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(d) supporting the efficient and viable operation of public transport services, and
(e) providing for the efficient movement of freight.

The Planning Proposal is considered consistent with this Direction because it is not contrary to any of the key aims of the SEPP.

5.2 Reserving Land for Public Purposes

Assessment – Consistent

The objectives of this Direction are to (a) facilitate the provision of public services and facilities by reserving land for public purposes, and (b) facilitate the removal of reservations of land for public purposes where the land is no longer required for acquisition.

The Planning Proposal is considered consistent with this Direction because it is not contrary to any of the key aims of the SEPP.

5.3 Development Near Regulated Airports and Defence Airfields

Assessment – Consistent

The objectives of this Direction are to:

- (a) ensure the effective and safe operation of regulated airports and defence airfields;*
- (b) ensure that their operation is not compromised by development that constitutes an obstruction, hazard or potential hazard to aircraft flying in the vicinity; and*
- (c) ensure development, if situated on noise sensitive land, incorporates appropriate mitigation measures so that the development is not adversely affected by aircraft noise.*

The Planning Proposal is consistent with this Direction because it is not contrary to any of the key aims of the SEPP.

5.4 Shooting Ranges

Assessment – Consistent

The objectives of this Direction are to:

- (a) maintain appropriate levels of public safety and amenity when rezoning land adjacent to an existing shooting range,*
- (b) reduce land use conflict arising between existing shooting ranges and rezoning of adjacent land,*
- (c) identify issues that must be addressed when giving consideration to rezoning land adjacent to an existing shooting range.*

The Planning Proposal is considered consistent with this Direction because it is not contrary to any of the key aims of the SEPP.

Focus Area 6 Housing

The intent of this Focus Area is to foster long-term, strategic-led and evidence-based approaches to guide a strong supply of well-located homes. They support the delivery of safe, diverse, affordable and quality designed housing that meets the needs of Aboriginal and local communities.

6.1 Residential Zones

Assessment – Consistent

The objectives of this Direction are to:

- (a) encourage a variety and choice of housing types to provide for existing and future housing needs,*
- (b) make efficient use of existing infrastructure and services and ensure that new housing has*

*appropriate access to infrastructure and services, and
(c) minimise the impact of residential development on the environment and resource lands.*

The Planning Proposal is considered consistent with this Direction because the provision of tourist and visitor accommodation can reduce pressure on housing being used for this purpose instead of providing long term housing solutions.

6.2 Caravan Parks and Manufactured Home Estates

Assessment – Consistent

The objectives of this Direction are to:

- (a) provide for a variety of housing types, and*
- (b) provide opportunities for caravan parks and manufactured home estates.*

The Planning Proposal is considered consistent with this Direction because it seeks to supplement the housing provides by these options.

Focus Area 7 Resilient Economies	<i>The intent of this Focus Area is to support diverse, inclusive and productive employment opportunities across the state to make NSW more economically competitive. They promote the supply of strategic employment lands, innovative industries and centres as a focus for activity and accessibility.</i>
---	---

7.1 Business and Industrial Zones

Assessment – Consistent

The objectives of this Direction are to:

- (a) encourage employment growth in suitable locations,*
- (b) protect employment land in business and industrial zones, and*
- (c) support the viability of identified centres.*

The Planning Proposal is considered consistent with this Direction because it is supporting the resilience of the visitor economy.

7.2 Reduction in non-hosted short-term rental accommodation period

Assessment – Consistent

Not applicable to Wingecarribee Shire.

7.3 Commercial and Retail Development along the Pacific Highway, North Coast

Assessment – Consistent

Not applicable to Wingecarribee Shire.

Focus Area 8 Resources & Energy	<i>The intent of this Focus Area is to promote the sustainable development of resources in strategic areas and a transition to low carbon industries and energy. They support positive environmental outcomes and work towards the net zero emissions target and continued energy security, while also promoting diversified activity in regional economies.</i>
--	--

8.1 Mining, Petroleum Production & Extractive Industries

Assessment – Consistent

The objective of this Direction is to ensure that the future extraction of State or regionally significant reserves of coal, other minerals, petroleum and extractive materials are not compromised by inappropriate development.

AGENDA OF THE LOCAL PLANNING PANEL WEDNESDAY 26 NOVEMBER 2025

The Planning Proposal is considered consistent with this Direction because it is not contrary to any of the key aims of the SEPP.

Focus Area 9 Primary Production	<i>The intent of this Focus Area is to support and protect the productivity of important agricultural lands. They enhance rural and regional economies through a sustainable, diverse and dynamic primary production sector that can meet the changing needs of a growing NSW.</i>
--	--

9.1 Rural Zones

Assessment – Consistent

The objective of this Direction is to protect the agricultural production value of rural land and identifies requirements for a Planning Proposal seeking to rezone Rural zoned land to a residential, business, industrial, village or tourist zone.

The Planning Proposal is considered consistent with this Direction because it applies to the E1 zone only.

9.2 Rural Lands

Assessment – Consistent

This Direction applies when a Planning Proposal will either affect land within an existing or proposed rural or conservation zone or changes the existing minimum lot size on land within a rural or conservation zone. The objectives of this Direction are to:

- (a) protect the agricultural production value of rural land,*
- (b) facilitate the orderly and economic use and development of rural lands for rural and related purposes,*
- (c) assist in the proper management, development and protection of rural lands to promote the social, economic and environmental welfare of the State,*
- (d) minimise the potential for land fragmentation and land use conflict in rural areas, particularly between residential and other rural land uses,*
- (e) encourage sustainable land use practices and ensure the ongoing viability of agriculture on rural land,*
- (f) support the delivery of the actions outlined in the NSW Right to Farm Policy.*

The Planning Proposal is considered consistent with this Direction because it applies to the E1 zone only.

9.3 Oyster Aquaculture

Assessment – Consistent

The objectives of this direction are to:

- (a) ensure that ‘Priority Oyster Aquaculture Areas’ and oyster aquaculture outside such an area are adequately considered when preparing a planning proposal, and*
- (b) protect ‘Priority Oyster Aquaculture Areas’ and oyster aquaculture outside such an area from land uses that may result in adverse impacts on water quality and consequently, on the health of oysters and oyster consumers.*

The Planning Proposal is considered consistent with this Direction because there are no ‘Priority Oyster Aquaculture Areas’ in Wingecarribee Shire.

9.4 Farmland of State & Regional Significance on the NSW Far North Coast

Assessment – Consistent

The Planning Proposal is considered consistent with this Direction because it is not applicable to Wingecarribee Shire.

Section C – Environmental, Social & Economic Impacts

8 - Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected because of the Proposal?

It is unlikely that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected by the Proposal as it is limited to the E1 Local Centre where such constraints do not generally occur. Any consequent development application would undergo assessment which would include consideration of these matters.

9 - Are there any other likely environmental effects of the planning proposal and how are they proposed to be managed?

There are no other likely environmental effects expected to result from the Proposal as it is limited to the E1 Local Centre where such impacts do not generally occur. No state agency referrals were required under the Gateway Determination. Any consequent development application would undergo assessment which would include consideration of these matters.

10 - Has the planning proposal adequately addressed any social and economic effects?

It is considered that that the Planning Proposal adequately addresses all social and economic implications.

Section D – Infrastructure (Local, State & Commonwealth)

Any infrastructure implications resulting from a development application would be considered at that stage and would inform the final decision regarding the development.

11- Is there adequate public infrastructure for the Planning Proposal?

It is unlikely that public infrastructure would be impacted by this Proposal.

Section E – State and Commonwealth Interests

12 - What are the views of state and federal authorities and government agencies consulted in order to inform the Gateway determination?

No state or federal interests are affected by this Planning Proposal.

Part 4 - Maps

No maps are required for this Planning Proposal.

Part 5 - Community Consultation

Community consultation will be considered at the Gateway stage, with the Gateway determination confirming the requirements. Council will undertake community consultation in accordance with the Gateway Determination.

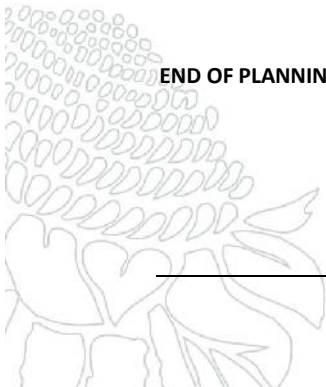
Part 6 - Project Timeline

Stage	Estimated Timeframe and/or date
Consideration by Council	July 2025
Council decision	July 2025
Gateway determination	August 2025
Pre-exhibition	August 2025
Public Exhibition	September – October 2025
Consideration of submissions	November 2025
Reporting of Planning Proposal back Wingecarribee Local Planning Panel and to Council	November 2025 December 2025
Drafting Request / submission to DPE	December 2025/January 2026
Gazettal of LEP amendment	January/February 2026

Delegation

Council has been granted delegation to exercise its local plan-making authority functions in relation to this Planning Proposal.

END OF PLANNING PROPOSAL



**AGENDA OF THE LOCAL PLANNING PANEL
WEDNESDAY 26 NOVEMBER 2025**

Attachment 2

Personal Submission

*I think this is an excellent proposal for E1 Local Centres Zones in Wingecarribee Shire.
I would be opposed to any move by Berrima Resident to have this amendment not apply
to the Berrima Conservation Areas as they do in relation to all amendments which affect
Berrima.*

*While Berrima is a heritage village its long term viability is in attracting visitors who stay
in the village.*

*Destination NSW state only 10% of visitors want to stay in a hotel or motel and that
45% of visitors want to stay in residential style accommodation.
I support the amendment.*

Name withheld. Residential address Berrima NSW.

ATTACHMENT 1 – RECOMMENDED REASONS FOR REFUSAL – DA25/1562

1. Insufficient information has been submitted to demonstrate development ancillary to the artisan food and drink industry is permissible with consent in the SP2 Infrastructure (Classified Road) portion of the site.

[Environmental Planning and Assessment Act 1979 s4.15(1)(a)(i)].

2. The proposed development is inconsistent with Section 2.119(2)(b)(i) of the State Environmental Planning Policy (Transport and Infrastructure) 2021 in that the safety, efficiency and ongoing operation of the classified road will be adversely affected as a result of the design of the vehicular access.

[Environmental Planning and Assessment Act 1979 s4.15(1)(a)(i)].

3. Insufficient information has been submitted with the application to confirm the development aligns with the relevant guidelines that are issued by the Planning Secretary for the purposes of Section 2.98(2)(ii) of the State Environmental Planning Policy (Transport and Infrastructure) 2021 and published in the Gazette.

[Environmental Planning and Assessment Act 1979 s4.15(1)(a)(i)].

4. Insufficient information has been submitted with the application to confirm the development conforms with relevant requirements of the Section 3.6(a) and (b) of the State Environmental Planning Policy (Industry and Employment) 2021.

[Environmental Planning and Assessment Act 1979 s4.15(1)(a)(i)].

5. The proposed development is inconsistent with the objectives of the RU4 Primary Production Small Lot zone under the WLEP 2010 for the following reasons:

- The overall height and scale of the development and associated 2.1m boundary fence is excessive and incompatible with adjacent and nearby residential and agricultural development.
- Insufficient information has been incorporated within the Plan of management to demonstrate the development will be managed in a manner that minimises conflicts between land uses within adjoining zones.

[Environmental Planning and Assessment Act 1979 s4.15(1)(a)(i)].

6. The proposed development is inconsistent with the objectives of the SP2 Infrastructure (Classified Road) under the WLEP 2010 as suitable infrastructure has not been provided to service the development from an access and traffic perspective.

[Environmental Planning and Assessment Act 1979 s4.15(1)(a)(i)].

7. The proposed development is inconsistent with the objectives and controls prescribed Wingecarribee Local Environmental Plan 2010 as follows:

- Clause 4.1 as insufficient information has been submitted within the Statement of Environmental Effects and Architectural Plans confirming the proposed boundary realignment conforms with the relevant objectives and controls.
- Clause 5.1 as insufficient information has been submitted within the Statement of Environmental Effects and Architectural Plan confirming the extent of works

**AGENDA OF THE LOCAL PLANNING PANEL
WEDNESDAY 26 NOVEMBER 2025**

proposed on land to be acquired by an authority of the State under the owner-initiated acquisition provisions, before it is used for the purpose for which it is reserved.

- Clause 7.3 as no cut and fill plan has been submitted to permit an accurate assessment of the extent of cut and fill proposed throughout the site.

[Environmental Planning and Assessment Act 1979 s4.15(1)(b).

8. The development is inconsistent with Section 7.10 of the Wingecarribee Local Environmental Plan 2010 as insufficient information has been submitted to confirm adequate sewer infrastructure will be available when required as follows:

- Depth and location of the existing DN250 water main have not been provided. Water main lowering will be required if there is insufficient cover. Positive identification is required to ensure accuracy of design due to critical water main. Potholing to be completed via non-destructive excavation.
- Confirmation has not been provided on the location of the existing air valve. Applicant has not advised how the air valve will be protected and remain in a suitable location away from the proposed driveway.
- The application has not stated the required size of the water meter.
- The application has not confirmed if a fire service is required for this development.
- The application has not labeled the easements shown on plans.
- The plans have not been amended to mention 'private sewer rising main'. HDPE sewer lines should be cream stripe, not lilac.
- Detail for new benching and channel arrangement in existing manhole have not been provided.
- Existing sewer main details such as size and flow direction have not been provided.
- The application does not positively identify and provide accurate survey for the 375mm water main as confirmation of existing services. Potholing to be completed via non-destructive excavation. Adequate clearance is to be provided and identified on the S68 drawings.
- The application has not confirmed how the sewer rising main will be connected to the existing manhole. Details are required if an external drop is proposed.
- The application has not ensured a minimum cover is maintained for the sewer rising main in accordance with low pressure sewer standards for private works.

[Environmental Planning and Assessment Act 1979 s4.15(1)(b).

9. The proposed development is inconsistent with the controls prescribed in Part A of the Bundanoon Township Development Control Plan as follows:

- (i) Section A3.9(a) as the proposed building height is excessive and results in a built form that is contrary to the objectives of the zone and incompatible with the rural landscape.
- (ii) Section A3.9(b) as the building footprint is excessive and does not conform with the maximum of 600 square metres.

**AGENDA OF THE LOCAL PLANNING PANEL
WEDNESDAY 26 NOVEMBER 2025**

- (iii) Section A3.9(b) as Insufficient information has been submitted with the application to demonstrate the building will be setback at least 20m from the SP2 Infrastructure (Classified Road) portion of the site.
- (iv) Section A4.5.1(a) as no cut and fill plan has been submitted to confirm the overall development seeks to use the existing topography of the site.
- (v) Section A4.6.1(d)(ii) as no cut and fill plan has been submitted to confirm the need and purpose of the excavation throughout the site.
- (vi) Section A4.9 as an Arborist's Report prepared by a suitably qualified professional has not been submitted.
- (vii) A6.10.3(b) as no lighting plan has been submitted to confirm all outdoor lighting conforms with the relevant requirements of the Australian Standards to avoid glare on to adjacent properties and the street.
- (viii) Section A6.17.3(f) as insufficient information has been submitted regarding the proposed 'Logo' sign to assess its appropriateness when having regard to the palette of colours in the rural landscape.
- (ix) Section A6.17.3(g) as insufficient information has been submitted regarding the proposed 'Logo' sign to whether it is of a high quality.
- (x) Section A6.17.3(h) as insufficient information has been submitted regarding the logo sign to assess if the design would detract from the character of the rural landscape.
- (xi) Section A6.17.3(l) as insufficient information has been submitted to assess whether the contents of the sign would be prohibited.

[Environmental Planning and Assessment Act 1979 s4.15(1)(a)(iii)].

10. Insufficient information has been submitted to assesses the likely impacts of that development on both the natural and built environments as the application has not been accompanied by the following:

- Insufficient information has been submitted on the architectural plans and statement of environmental effects to assess the extent of works proposed within the land zoned SP2 Infrastructure (Classified Road).
- A Survey Plan has not been submitted with the application.
- Insufficient information has been submitted confirming the use of the mezzanine level has been submitted on the architectural plans.
- Insufficient information within the Plan of management regarding staff capacity, number of patrons, traffic management, servicing, noise management, events, and amplified music.
- Insufficient information has been submitted on the architectural plans regarding the required 2.1m high boundary fence as recommended within the Acoustic Report.

[Environmental Planning and Assessment Act 1979 s4.15(1)(b)].

11. The subject site is not considered to be suitable for the scale of development having regard to the proposed access arrangements and lack of information describing the management of the premises.

[Environmental Planning and Assessment Act 1979 s4.15(1)(b)&(c)].

**AGENDA OF THE LOCAL PLANNING PANEL
WEDNESDAY 26 NOVEMBER 2025**

12. Insufficient information has been submitted with the development application to address the issues raised in the public submissions received during public notification of the application.

[Environmental Planning and Assessment Act 1979 s4.15(1)(d)].

13. The proposed development is not in the public interest.

[Environmental Planning and Assessment Act 1979 s4.15(1)(a)(i)].

- END -



Studio  Design

IN CONSULTATION WITH:

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28.05.2024

APPLICATION
Development Application
ISSUED FOR REVIEW (NOT FOR CONSTRUCTION)

REVISION
A

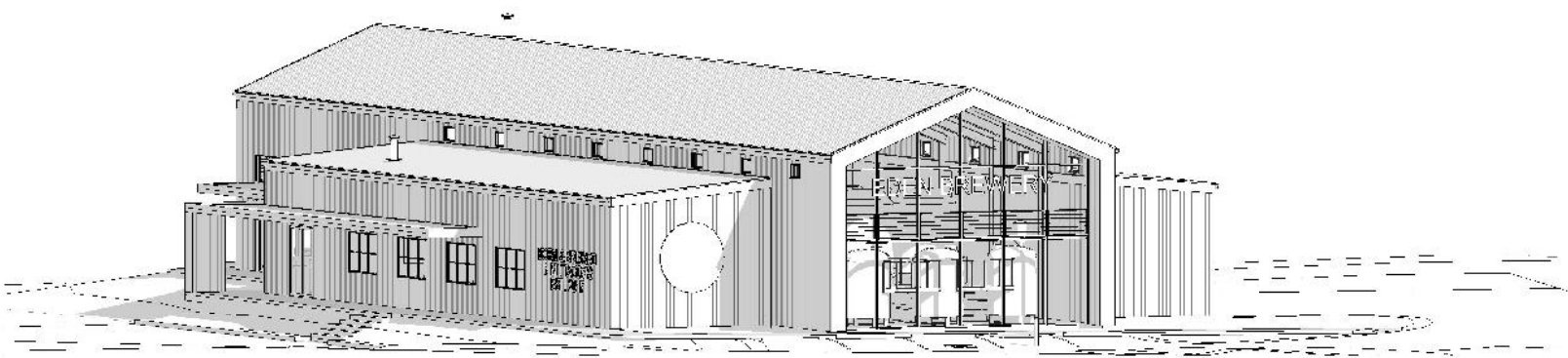
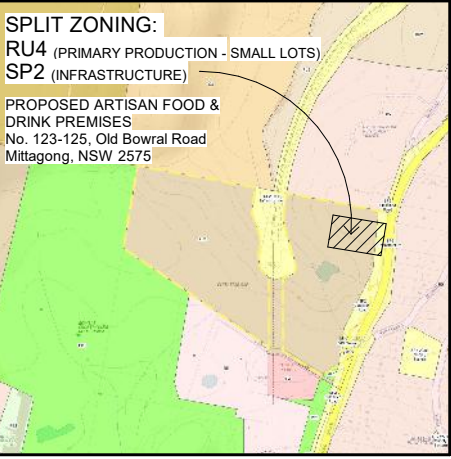
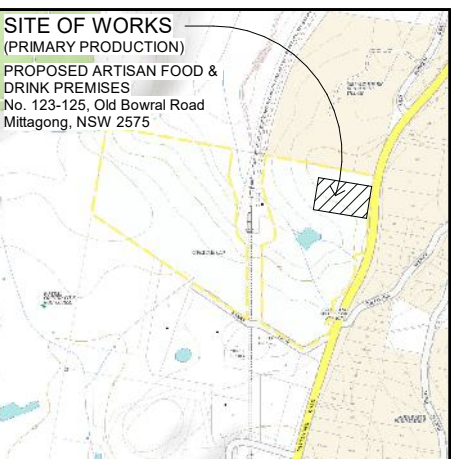
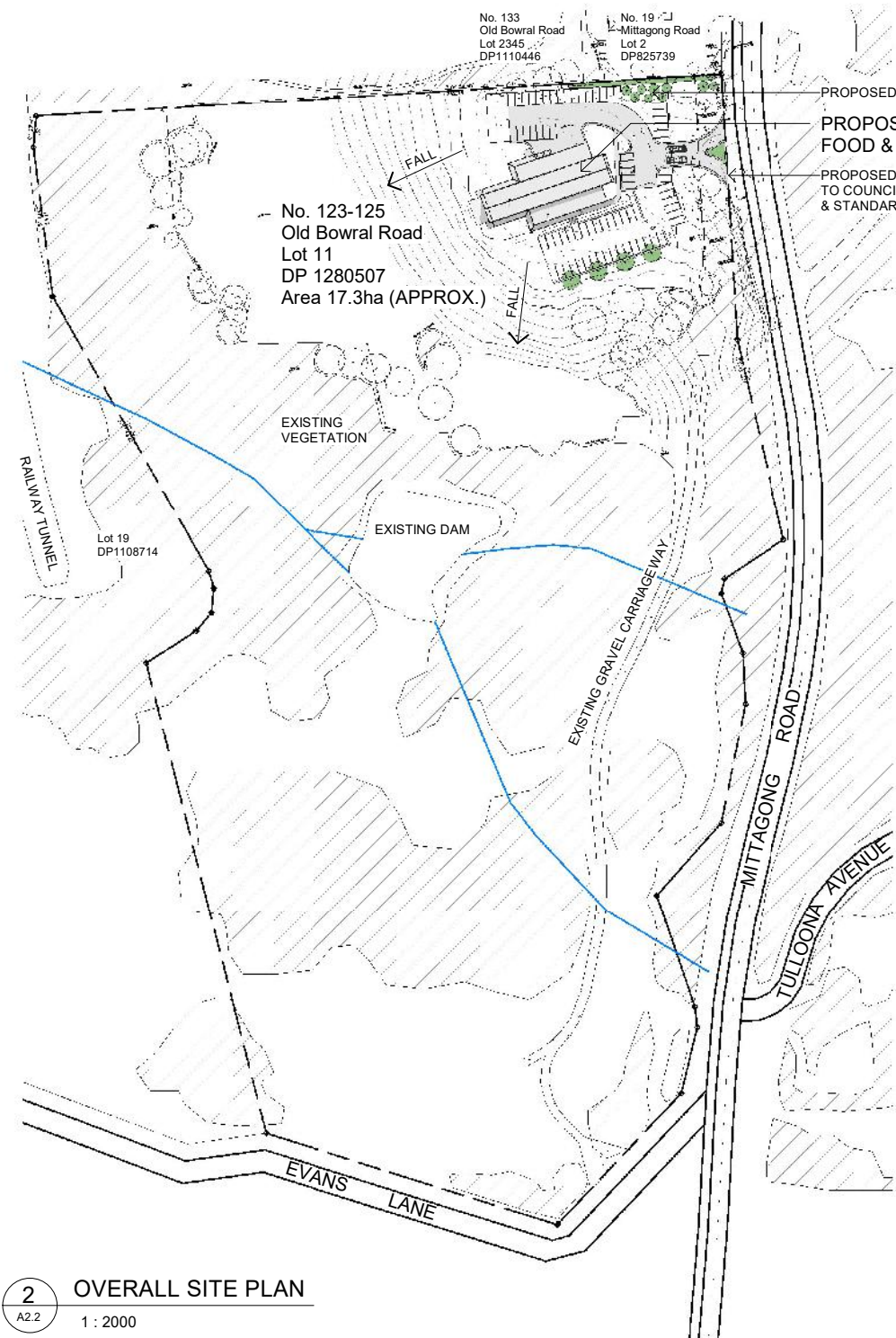
REFINARDS
STORAGE //
EDEN BREWERY

No. 123-125
Gladstone Road
MITTAGONG, NSW 2575
Lot 11 / DP 128507

PROJECT

Proposed Artisan Food & Drink Premises

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SITE CALCULATIONS

SITE AREA	APPROX. 17.30 ha (173000m ²)
SITE COVERAGE	
PROPOSED PREMISES	
AMENITIES	(51.67m ²)
CELLAR DOOR	(274.9m ²)
ENTRY	(47.23m ²)
PRIVATE DINING ROOM	(52.54m ²)
KITCHEN	(33.25m ²)
MEZZANINE	(65.13m ²)
TOTAL	824.72m²
PROPOSED PRODUCTION BREWERY	
BREWERY	(229.27m ²)
COLD STORAGE	(38.27m ²)
GRAIN STORE	(17.47m ²)
MILL ROOM	(7.05m ²)
WARM STORAGE	(37.40m ²)
OFFICE	(23.32m ²)
LAB / WC	(8.97m ²)
TOTAL	361.75m²
GRAND TOTAL	886.48m²
TOTAL BUILDING FOOTPRINT (Mezzanine not included)	821.35m ²
PERCENTAGE OF SITE AREA	0.5%

PROPOSED ARTISAN FOOD & DRINK PREMISES



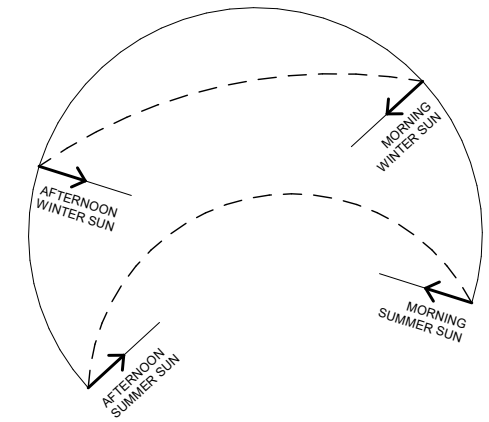
PROPOSED DRIVEWAY

PROPOSED ENTRY CROSSOVER TO COUNCIL'S SPECIFICATIONS & STANDARD DETAIL

PROPOSED PARKING

SERVICE VEHICLE ACCESS TO EXISTING GRAVEL CARRIAGEWAY TO BE PROVIDED

EXISTING GRAVEL CARRIAGEWAY



DRAWING LIST

Dwg No.	Dwg Title	Current Revision
A0.0	COVER	A
A1.0	LOCALITY PLAN, SITE ANALYSIS, DRAWING LIST & NOTES	A
A1.1	DETAILED SITE PLAN (SCALE 1:500)	A
A1.2	DETAILED SITE PARKING PLAN (SCALE 1:200)	A
A1.3	ROOF PLAN	A
A1.4	LANDSCAPE PLAN	A
A2.0	GROUND FLOOR PLAN	A
A2.1	MEZZANINE FLOOR PLAN	A
A2.2	AMENITIES FLOOR PLAN & UNISEX ACCESSIBLE WC DETAILS	A
A2.3	CELLAR DOOR & BREWERY FITOUT	A
A3.0	ELEVATIONS & FINISHES SCHEDULE	A
A4.0	SECTIONS A & B, SECTION J REPORT NOTES	A
A4.1	SECTIONS C & D	A
A4.2	SECTIONS E & F	A
A4.3	SECTIONS G1 & G2	A
A4.4	SECTIONS H1 & H2	A
A4.5	SITE SECTIONS J, K, L & M	A
A5.0	EXTERNAL VIEW & FINISHES	A
A5.1	RENDERS	A

GENERAL NOTES

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATION & ALL RELEVANT MANUFACTURER'S CURRENT DOCUMENTATION.
- THE DIMENSIONS SHOWN ON THE DRAWING ARE TO BE PREFERRED TO THOSE SCALED OFF. DIMENSIONS ARE IN MILLIMETERS UNLESS INDICATED OTHERWISE.
- ALL LEVELS, DIMENSIONS AND SETBACKS ARE TO BE CHECKED AND VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS.
- ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AND THOSE OF ALL STATUTORY AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL SERVICES ON SITE & CONFIRM WITH THE LOCAL AUTHORITY.

BUSHFIRE NOTE:

PROPOSED ARTISAN FOOD & DRINK PREMISES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CERTIFIED BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT BY SOWDES
- REF: 0010322, DATED: 15/04/2024

CONSTRUCTION FOR BUSHFIRE

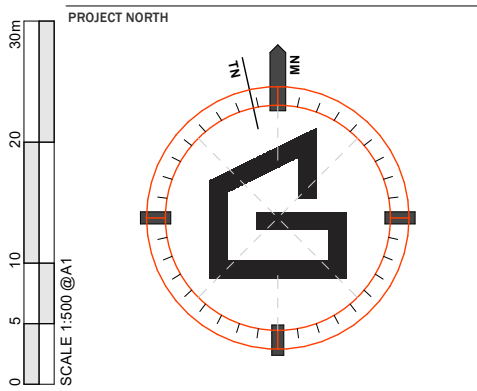
ATTACK LEVEL - BAL 29

REFER TO SECTION 5 & 7 OF A.S. 3699-2018 FOR CONSTRUCTION REQUIREMENTS OF THE FOLLOWING: FLOORS, EXTERNAL WALLS, EXTERNAL WINDOWS AND DOORS, ROOFS, GUTTERS, VERANDAHs, DECKs AS WELL AS WATER AND GAS SUPPLY LINES.



Proposed Artisan Food & Drink Premises

FOR KENNARDS No. 123-125, Old Bowral Road, STORAGE // MITTAGONG, NSW 2575 Lot 11 / DP 1280507 EDEN BREWERY



Development Application

REVISIONS	DRAWN	DATE
A	DA SUBMISSION	KSC 28/05/2024

Studio G Design

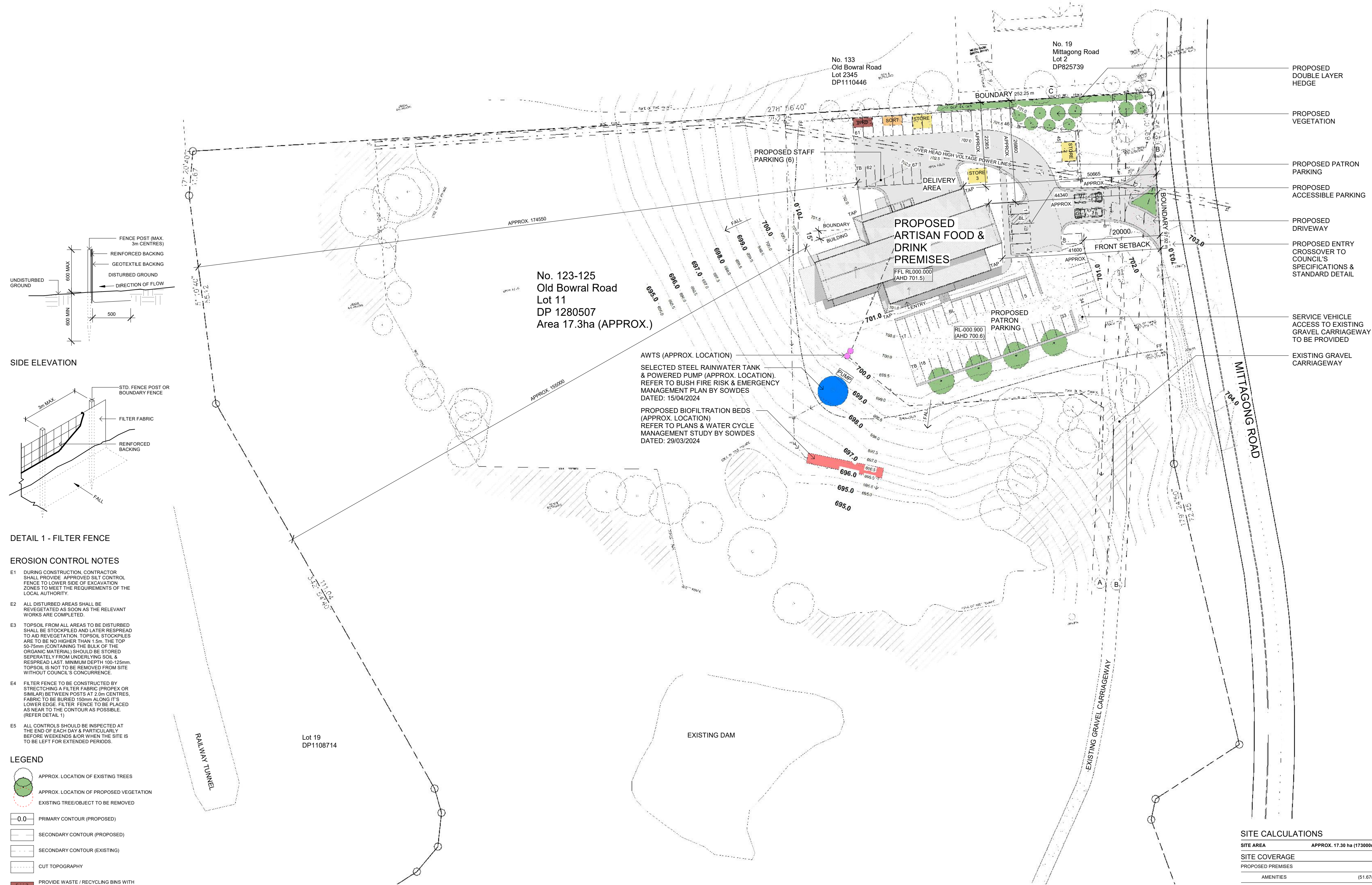
0433 822 999 studio@mg.com.au

LOCALITY PLAN, SITE ANALYSIS, DRAWING LIST & NOTES

A1.0

PROJECT # 337 DATE: 28.05.2024 DRAWN BY: KSC

STUDIO G DESIGN PTY LTD ABN 71 641 965 926 ©2024



NOTES

N1 FOR GENERAL NOTES SEE DRG No.01

N2 ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION, ORDERING OR MANUFACTURE OF ITEMS.

SITE NOTES

S1 FOR STORMWATER & SEWER DRAINAGE DESIGN, REFER TO PLANS & WATER CYCLE MANAGEMENT STUDY PREPARED BY SOWTES DATED: 29/03/2024

S2 BUILDER / PLUMBER TO LOCATE ALL SERVICES ON SITE PRIOR TO COMMENCEMENT OF ALL WORKS.

NOTES - EASEMENTS

A EASEMENT FOR CO-AXIAL CABLE 3.66 WIDE BY DP256304-TRANSFER GR326775.

B EASEMENT FOR PIPELINE 5.03 WIDE BY DP256304-TRANSFER MA99850.

C EASEMENT FOR SERVICES 3.00 WIDE BY DP625739.

BUSHFIRE NOTE:

PROPOSED ARTIFAN FOG & DRINK PREMISES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CERTIFIED BUSHFIRE ATTACK LEVEL (BAL)

ALL EASEMENTS REFERRED TO IN THIS DOCUMENT ARE REFERRED TO HEREIN AS:

REF: 0010322 DATED: 15/04/2024

**CONSTRUCTION FOR BUSHFIRE
ATTACK LEVEL - BAL 29**

REFER TO SECTION 3 & 7 OF A.S.3959-2018 FOR
CONSTRUCTION REQUIREMENTS OF THE FOLLOWING:
FLOORS, EXTERNAL WALLS, EXTERNAL WINDOWS AND
DOORS, ROOFS, GUTTERS, VERANDAHS, DECKS AS WELL
AS WATER AND GAS SUPPLY LINES.

NOTES - PROPOSED PARKING

P1 TOTAL No. OF PARKING SPACES:

PARKING CURRENTLY INDICATIVE OF:

67 CAR SPACES

(INCLUDING 1 ACCESSIBLE PARKING SPACE & 10 STAFF PARKING SPACES).

REFER TO 'REQUIREMENTS - OFF STREET PARKING' TABLE FOR FURTHER INFORMATION.

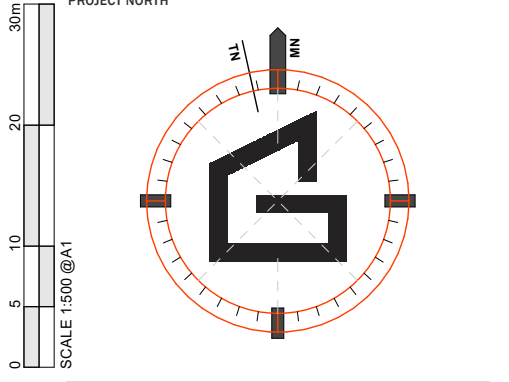
REQUIREMENTS - OFF STREET PARKING

USE	CAR SPACE MEASURE
Restaurants	1 space per 3 seats OR 15 spaces per 100 m ² of gross floor area.
Wineries, Cellar Door Sales and other Local Rural Industries	1 space per 30m ² of gross leasable floor areas with a minimum of 3 spaces.

Proposed Artisan Food & Drink Premises

FOR
KENNARDS
STORAGE //
EDEN BREWERY

No. 123-125,
Old Bowral Road
Mittagong, NSW 2575
Lot 11 / DP 1280507



SITE AREA			APPROX. 17.30 ha (173000m ²)
SITE COVERAGE			
PROPOSED PREMISES			
AMENITIES		(51.67m ²)	
CELLAR DOOR		(274.39m ²)	
ENTRY		(427.39m ²)	
PRIVATE DINING ROOM		(252.54m ²)	
KITCHEN		(332.55m ²)	
MEZZANINE		(65.13m ²)	
TOTAL		6247.29m²	
PROPOSED PRODUCTION BREWERY			
BREWERY		(229.27m ²)	
COLD STORAGE		(38.27m ²)	
GRAIN STORE		(17.47m ²)	
MILL ROOM		(7.05m ²)	
WARM STORAGE		(27.40m ²)	
OFFICE		(23.32m ²)	
LAB / WC		(8.97m ²)	
TOTAL		386.48m²	
GRAND TOTAL			
TOTAL BUILDING FOOTPRINT (Mezzanine not included)		621.55m ²	
PERCENTAGE OF SITE AREA			0.5%

APPLICATION
Development Application
REVISIONS DRAWN DATE

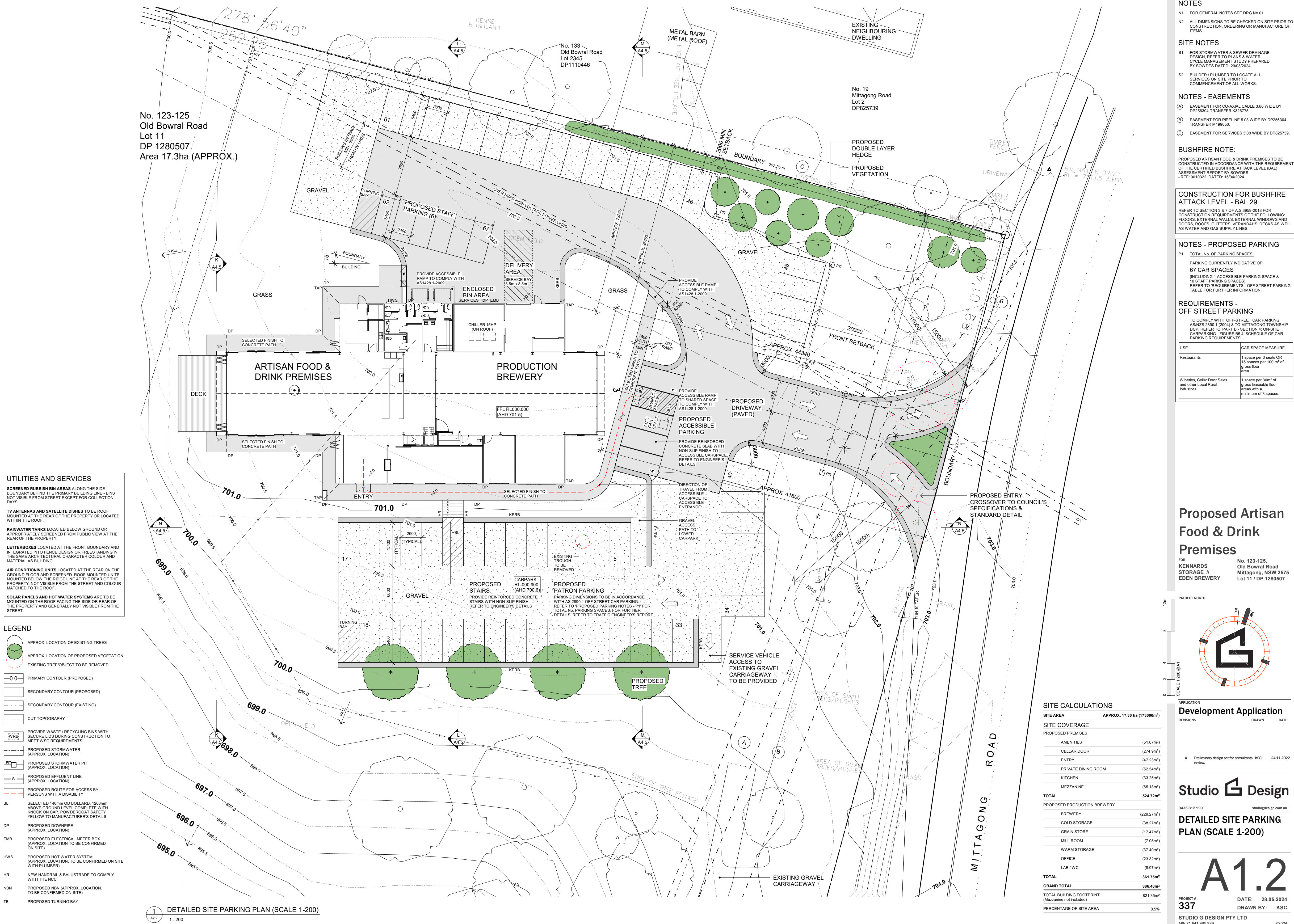
Studio  Design

DETAILED SITE PLAN
(SCALE 1-500)

A1.1

PROJECT # **337** DATE: 28.05.2024
DRAWN BY: KSC

STUDIO G DESIGN PTY LTD
ABN 71 641 985 926 ©2024

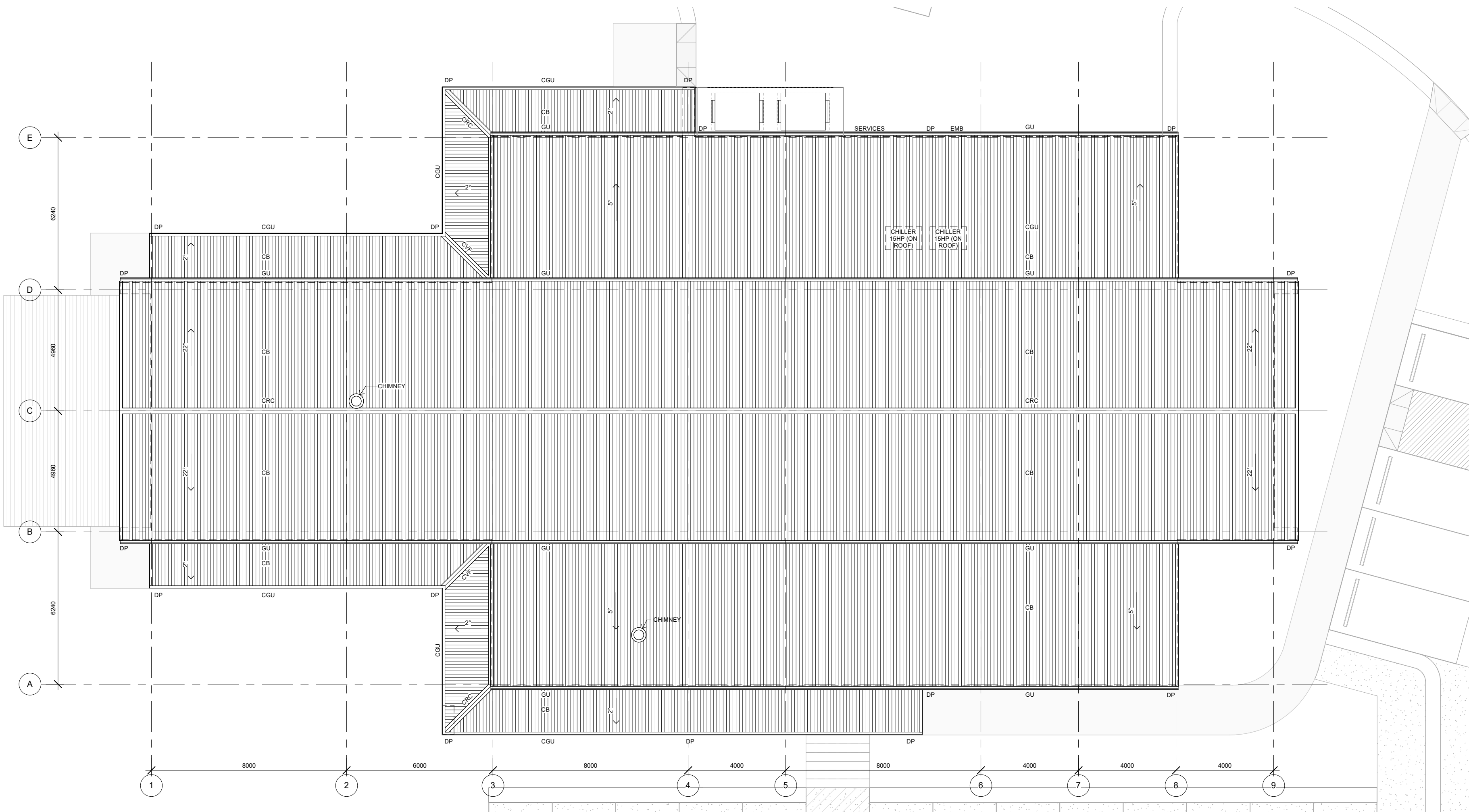


CONSTRUCTION FOR BUSHFIRE
ATTACK LEVEL - BAL 29

REFER TO SECTION 3.8.7 OF AS 3999-2018 FOR
CONSTRUCTION REQUIREMENTS OF THE FOLLOWING:
FLOORS, EXTERNAL WALLS, EXTERNAL WINDOWS AND
DOORS, ROOFS, GUTTERS, VERANDAS, DECKS AS WELL
AS WATER AND GAS SUPPLY LINES.

CONDENSATION MANAGEMENT

VENTILATION OF ROOF SPACES, PART 3.8.7.4 NCC.
A) WHERE AN EXHAUST SYSTEM COVERED BY 3.8.7.3
DISCHARGES INTO A ROOF SPACE, THE ROOF SPACE
MUST BE VENTILATED TO OUTDOOR AIR THROUGH
EVENLY DISTRIBUTED OPENINGS.
B) OPENINGS REQUIRED BY (A) MUST HAVE A TOTAL
UNOBSTRUCTED AREA OF 1/300 OF THE RESPECTIVE
CEILING AREA IF THE ROOF PITCH IS MORE THAN 22° OR
1/100 OF THE RESPECTIVE CEILING AREA IF THE ROOF
PITCH IS NOT MORE THAN 22°.
C) 50% OF THE TOTAL UNOBSTRUCTED AREA REQUIRED
BY (B) MUST BE LOCATED NOT MORE THAN 600 MM BELOW
THE RIDGE OR HIGHEST POINT OF THE ROOF SPACE,
MEASURED VERTICALLY, WITH THE REMAINING REQUIRED
AREA PROVIDED BY EAVE VENTS.



1 ROOF PLAN
A2.2
1:100

NOTES

- N1 FOR GENERAL NOTES SEE DRG No.01
N2 ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO
CONSTRUCTION, ORDERING OR MANUFACTURE OF
ITEMS.

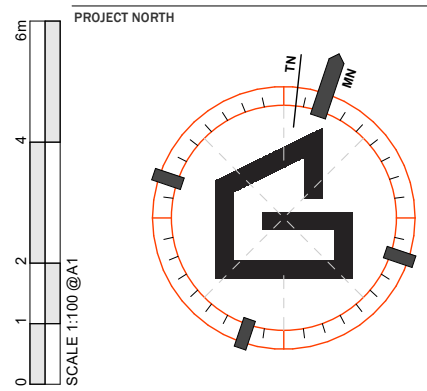
KEY

- CB SELECTED STEEL ROOF SHEETING
CGU SELECTED CONCEALED COLORBOND GUTTER
CRC SELECTED COLORBOND RIDGE CAPPING
CVF SELECTED COLORBOND VALLEY FLASHING
DP SELECTED COLORBOND DOWNPIPE
(APPROX. LOCATION)
GU SELECTED COLORBOND GUTTERING WITH
SELECTED LEAF GUARD TO COMPLY WITH
AS3999-2018
X° ROOF PITCH, AS IDENTIFIED ON DRAWING,
ARROW IN DIRECTION OF FALL (HIGH TO LOW)

Proposed Artisan
Food & Drink
Premises

FOR
KENNARDS
STORAGE //
EDEN BREWERY

No. 123-125,
Old Bowral Road
Mittagong, NSW 2575
Lot 11 / DP 1280507



APPLICATION
Development Application

REVISIONS DRAWN DATE

A DA SUBMISSION KSC 28/05/2024

Studio G Design

0435 832 999 studio@mgm.com.au

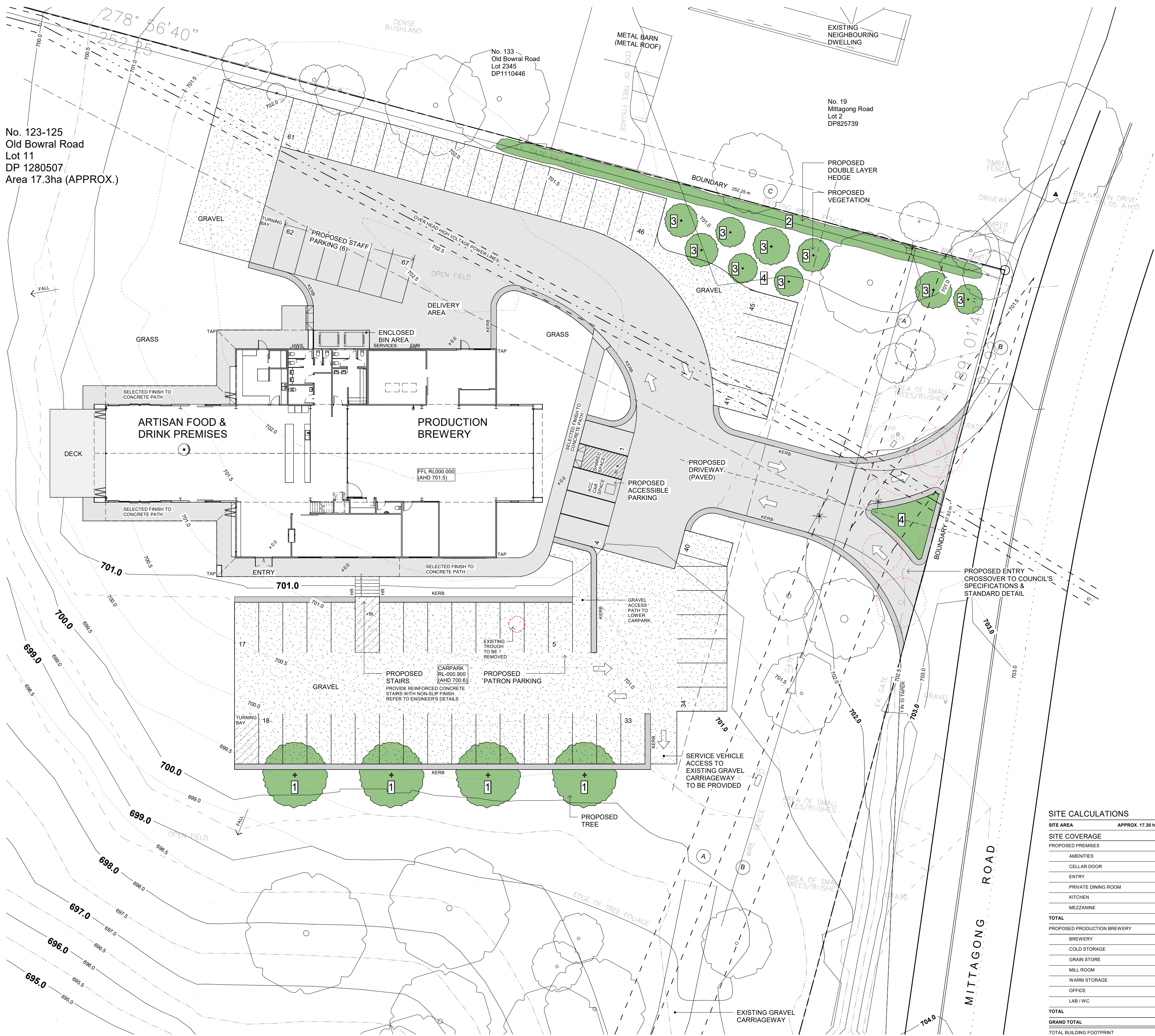
ROOF PLAN

A1.3

PROJECT #
337

DATE: 28.05.2024
DRAWN BY: KSC

STUDIO G DESIGN PTY LTD
ABN 71 541 985 926 ©2024



1 LANDSCAPE PLAN
1 : 200

LANDSCAPE PLAN DESIGNED BY:
LANDSCAPE ARCHITECT
TURF 2 TREES HORTICULTURE

Michael
m: 0404 689 925
e: michael@turf2trees.com.au

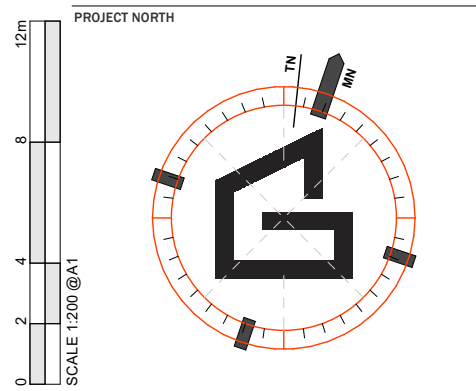
- LEGEND**
- APPROX. LOCATION OF EXISTING TREES
 - APPROX. LOCATION OF PROPOSED VEGETATION
 - EXISTING TREE/OBJECT TO BE REMOVED
 - SELECTED TREE
Malekara enclata - Swamp Paperbark - x 4 - 75tr bag
Mature Height: 8.0m
 - SELECTED HEDGE
Callistemon viminalis 'Slur' - Bottlebrush -
Plant spacing at 1.5m meter - 400mm pot
Mature Height: 3.0m Mature Width: 1.3m
 - SELECTED SHRUBS
Acacia cognata 'Limelight' - x 5 - 400mm pot
Mature Height: 1.0m Mature Width: 1.2m
 - River Wattle - Leptospermum monticola burgundy -
Tree Top - x 4 - 400mm pot
Mature Height: 3.0m Mature Width: 1.5m
 - SELECTED GROUND COVER / PLANTING
Grass: Poiretia Royal Marle -
Plant spacing 30square meter - 200mm pot
Mature Height: 0.2m Mature Width: 0.0m

- NOTES**
- N1 FOR GENERAL NOTES SEE DRG No.01
 - N2 ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION, ORDERING OR MANUFACTURE OF ITEMS.
- SITE NOTES**
- S1 FOR STORMWATER & SEWER DRAINAGE DESIGN, REFER TO PLANS & WATER CYCLE MANAGEMENT STUDY PREPARED BY SOWDES DATED: 28/03/2024.
 - S2 BUILDER / PLUMBER TO LOCATE ALL SERVICES ON SITE PRIOR TO COMMENCEMENT OF ALL WORKS.
- NOTES - EASEMENTS**
- A EASEMENT FOR CO-AXIAL CABLE 3.66 WIDE BY DP256304-TRANSFER K326775.
 - B EASEMENT FOR PIPELINE 5.03 WIDE BY DP256304-TRANSFER M495650.
 - C EASEMENT FOR SERVICES 3.00 WIDE BY DP25739.

Proposed Artisan Food & Drink Premises

FOR
KENNARDS
STORAGE //
EDEN BREWERY

No. 123-125,
Old Bowral Road
Mittagong, NSW 2575
Lot 11 / DP 1280507



SITE CALCULATIONS

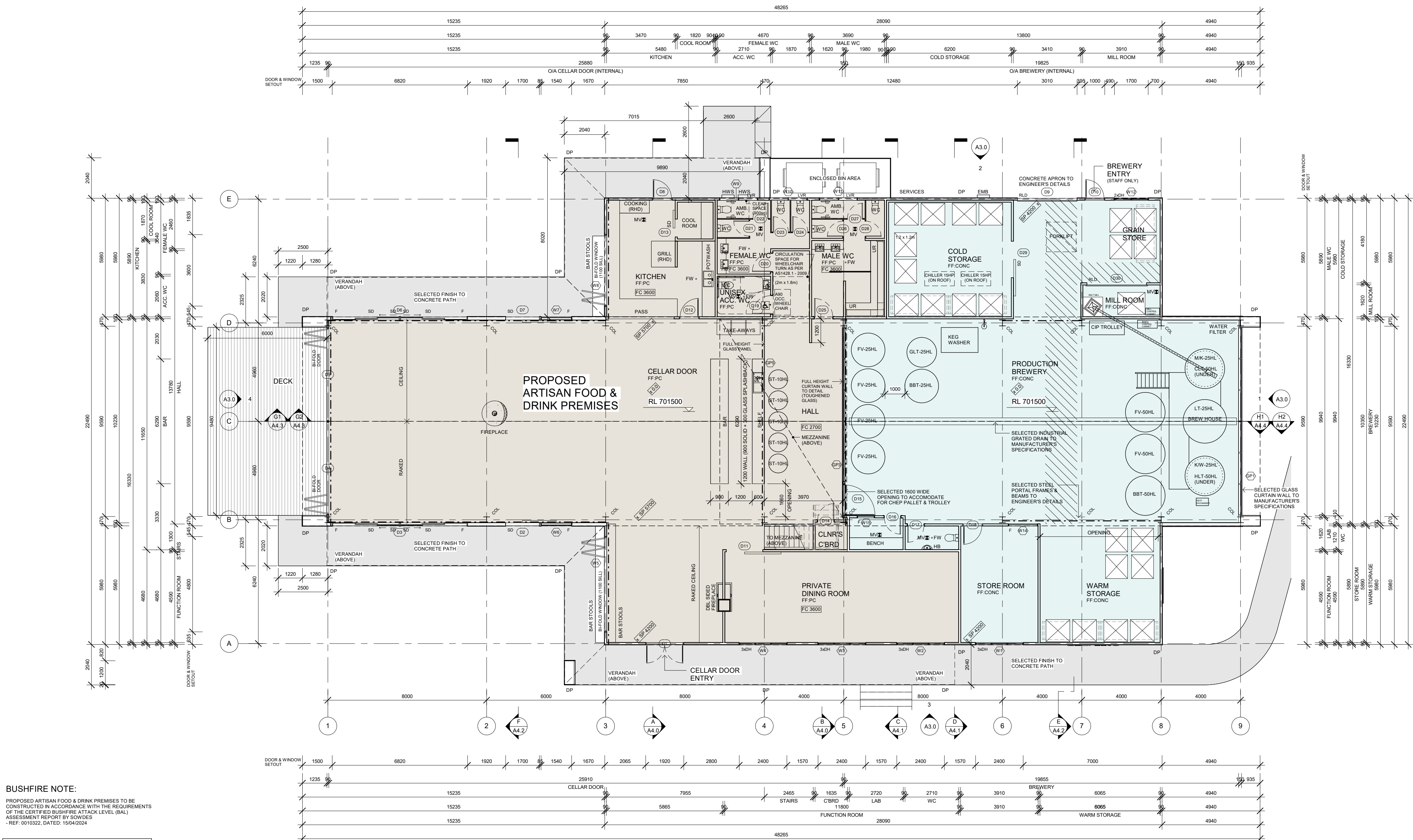
SITE AREA	APPROX. 17.30 ha (173000m ²)
SITE COVERAGE	
PROPOSED PREMISES	
AMENITIES	(51.67m ²)
CELLAR DOOR	(274.9m ²)
ENTRY	(47.23m ²)
PRIVATE DINING ROOM	(52.54m ²)
KITCHEN	(33.25m ²)
MEZZANINE	(65.13m ²)
TOTAL	524.72m²
PROPOSED PRODUCTION BREWERY	
BREWERY	(229.27m ²)
COLD STORAGE	(36.27m ²)
GRAIN STORE	(17.47m ²)
MILL ROOM	(7.05m ²)
WARM STORAGE	(37.40m ²)
OFFICE	(23.32m ²)
LAB / WC	(5.97m ²)
TOTAL	361.75m²
GRAND TOTAL	886.48m²
TOTAL BUILDING FOOTPRINT (Mezzanine not included)	821.35m ²
PERCENTAGE OF SITE AREA	0.5%

APPLICATION
Development Application

REVISIONS	DRAWN	DATE
A	DA SUBMISSION	KSC 28/05/2024

Studio G Design
0435 832 999 studio@sgdesign.com.au
LANDSCAPE PLAN

A1.4
PROJECT # **337** DATE: 28.05.2024
DRAWN BY: KSC
STUDIO G DESIGN PTY LTD
ABN 71 541 985 936 ©2024



BUSHFIRE NOTE:

PROPOSED ARTISAN FOOD & DRINK PREMISES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CERTIFIED BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT BY SIVOXES
- REF: 0010522, DATED: 15/04/2024

CONSTRUCTION FOR BUSHFIRE ATTACK LEVEL - BAL 29

REFER TO SECTION 3.8.7 OF A.S. 3959-2018 FOR CONSTRUCTION REQUIREMENTS OF THE FOLLOWING: FLOORS, EXTERNAL WALLS, EXTERNAL WINDOWS AND DOORS, ROOFS, GUTTERS, VERANDAHS, DECKS AS WELL AS WATER AND GAS SUPPLY LINES.

CONDENSATION MANAGEMENT

VENTILATION OF ROOF SPACES: PART 3.8.7.4 NCC.
A) WHERE AN EXHAUST SYSTEM COVERED BY 3.8.7.3 DISCHARGES INTO A ROOF SPACE, THE ROOF SPACE MUST BE VENTILATED TO OUTDOOR AIR THROUGH EVENLY DISTRIBUTED OPENINGS.
B) OPENINGS REQUIRED BY (A) MUST HAVE A TOTAL UNOBSTRUCTED AREA OF 1/300 OF THE RESPECTIVE CEILING AREA IF THE ROOF PITCH IS MORE THAN 22° OR 1/150 OF THE RESPECTIVE CEILING AREA IF THE ROOF PITCH IS NOT MORE THAN 22°.
C) 30% OF THE TOTAL UNOBSTRUCTED AREA REQUIRED BY (B) MUST BE LOCATED NOT MORE THAN 600 MM BELOW THE RIDGE OR HIGHEST POINT OF THE ROOF SPACE, MEASURED VERTICALLY, WITH THE REMAINING REQUIRED AREA PROVIDED BY EAVE VENTS.

BREWERY & CELLAR DOOR - SECTION J REPORT

FOR DETAILS ON BUILDING FABRIC, EXTERNAL GLAZING, BUILDING SEALING, A/C & VENTILATION SYSTEMS, & ARTIFICIAL LIGHTING & POWER, REFER TO SECTION J REPORT PREPARED BY BEMA
REFERENCE: 206 RWD, DATED: 17/04/2024

SETDOWN NOTE - WET AREAS

PROVIDE ADEQUATE SETDOWN TO WET AREAS FOR WATERPROOFING, MORTAR BED, TILE THICKNESS AND FALL IN FLOOR. ENSURE THAT FINISHED TILE SURFACE IS FLUSH WITH THAT OF SURROUNDING FLOOR SURFACES.

SMOKE ALARMS

HARD WIRED SMOKE ALARMS ARE TO BE INSTALLED THROUGHOUT THE PREMISES TO COMPLY WITH THE NCC VOL 1 & AS/NZS 2022 NEW 5.1.1 SMOKE & HEAT ALARM REQUIREMENTS. SMOKE ALARMS TO ALSO COMPLY WITH THE ENVIRONMENTAL PLANNING & ASSESSMENT AMENDMENT (SMOKE ALARMS) REGULATION 2006

FLOORWASTE NOTE

FLOORWASTE, MEMBRANE & DRAINAGE FLANGE CONNECTION TO BE INSTALLED TO COMPLY WITH BCA 2022 PART 10.2.2

1 GROUND FLOOR PLAN

A2.2 1:100

DOOR SCHEDULE

DOOR No's	LEAF SIZE	HEAD	FRAME & DOOR TYPE
D1	2 x 2400H x 920W	2400	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, FRENCH DOOR ENTRY
D2, D7	2400H x 1700W	2400	SELECTED STEEL FRAMED, SOLID PANEL, BARN-STYLE SLIDING DOOR
D3, D6	2400H x 6820W	2400	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, SLIDING STACKER DOOR
D4, D5	2400H x 4720W	2400	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, SLIDING BI-FOLD DOOR
D8, D10	2400H x 620W	2400	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, FULL HEIGHT GLASS, ACCESS DOOR
D9	4000H x 3010W	4000	SELECTED STEEL FRAMED, PAINTED STEEL ROLLER DOOR
D11	2340H x 1840	2400	SELECTED STEEL FRAMED, SOLID PANEL, BARN-STYLE SLIDING DOOR
D12, D18	2340H x 920W	2400	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, FULL HEIGHT GLASS, ACCESS DOOR
D13	2400H x 900	2400	SELECTED ALUMINIUM FRAMED, INSULATED COOLROOM SLIDING DOOR
D14	2040H x 820W	2100	SELECTED ALUMINIUM FRAMED, SOLID CORE, HINGED DOOR
D15	2340H x 1600W	2400	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, FULL HEIGHT GLASS, ACCESS DOOR
D16, D17	2340H x 620W	2400	SELECTED ALUMINIUM FRAMED, SOLID CORE, HINGED DOOR
D19, D20, D25	2340H x 920W	2400	SELECTED ALUMINIUM FRAMED, SOLID CORE, HINGED DOOR
D21, D22, D23, D24, D26, D27, D28	1800H x 770W	2000	SELECTED ALUMINIUM FRAMED, SOLID PANEL, HINGED DOOR
D29	3500H x 1840W	3500	SELECTED ALUMINIUM FRAMED, INSULATED COOLROOM SLIDING DOOR (COLD STORAGE)
D30	3500H x 3010W	3500	SELECTED STEEL FRAMED, PAINTED STEEL ROLLER DOOR (MILL ROOM)

GLAZED PANEL SCHEDULE

PANEL No's	FRAME SIZE	HEAD	FRAME & GLAZING TYPE
GP1 (EAST GABLE)	3600H x 9480W (GP 1990)	7555	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, FIXED CURTAIN SYSTEM (GABLE TRAPEZOID)
GP2 (EAST GABLE)	3000H x 9480W (GP 1990)	3000	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, FIXED CURTAIN SYSTEM (GABLE TRAPEZOID)
GP6 (WEST GABLE)	3600H x 9480W (GP 1990)	7555	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, FIXED CURTAIN SYSTEM (GABLE TRAPEZOID)
GP3 (HALL)	2700H x 9480W (GP 1990)	2700	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, FIXED CURTAIN SYSTEM (GABLE TRAPEZOID)
GP4 (MEZZANINE)	4560H x 9480W (GP 1990)	7555	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, FIXED CURTAIN SYSTEM (GABLE TRAPEZOID)
GP5 (BAR)	1200H x 7950W	1200	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, FIXED PANEL (NCL 300 BAR SPLASHBACK)

REFER TO SECTION J REPORT FOR PARTICULARS OF GLASS AND FRAME TYPE

WINDOW SCHEDULE

WINDOW No's	HEIGHT	WIDTH	HEAD	FRAME & WINDOW TYPE
W1, W2, W3, W4	1370	2400	2400	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, DOUBLEHUNG (3)
W5	1300	4800	2400	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, BI-FOLD
W6, W7	2400	1540	2400	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, BI-FOLD
W8	1300	3600	2400	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, BI-FOLD
W9, W10, W11	500	1930	2400	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, OPERABLE LOUVER
W12	1370	1700	2400	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, DOUBLEHUNG (2)
W13, W23	900	9480	3950	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, OPERABLE LOUVER
W14	1030	1450	2400	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, FIXED (INTERNAL - STORE ROOM)
W15	400	850	1900	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, FIXED (INTERNAL - LAB)
W20, W26	900	4800	3950	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, OPERABLE LOUVER
W21, W25	900	3370	3950	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, OPERABLE LOUVER
W22, W24	900	6740	3950	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, OPERABLE LOUVER
W27 - W42	500	900	5600	SELECTED ALUMINIUM FRAMED, SINGLE GLAZED, AWNING

REFER TO SECTION J REPORT FOR PARTICULARS OF GLASS AND FRAME TYPE

FLOOR AREAS

PROPOSED PREMISES	
AMENITIES	(51.67m²)
CELLAR DOOR	(274.90m²)
ENTRY	(47.23m²)
PRIVATE DINING ROOM	(52.54m²)
KITCHEN	(33.25m²)
MEZZANINE	(65.13m²)
TOTAL	524.72m²
PROPOSED PRODUCTION BREWERY	
BREWERY	(229.27m²)
COLD STORAGE	(38.27m²)
GRAIN STORE	(17.47m²)
MILL ROOM	(7.05m²)
WARM STORAGE	(37.40m²)
OFFICE	(23.32m²)
LAB / WC	(8.97m²)
TOTAL	361.75m²
GRAND TOTAL	886.48m²

NOTES

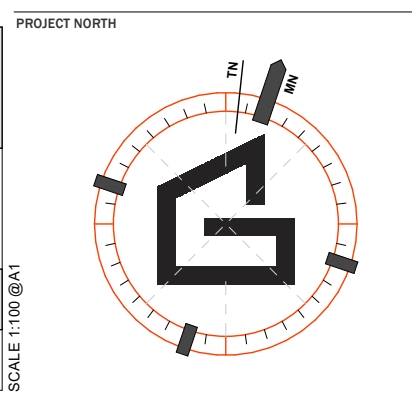
- N1 FOR GENERAL NOTES SEE DRG No.01
N2 ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION, ORDERING OR MANUFACTURE OF ITEMS.

KEY - PROPOSED

- 150mm STEEL FRAME EXTERNAL WALL
20mm SELECTED STEEL CLADDING
90mm STEEL FRAME EXTERNAL WALL
20mm SELECTED STEEL CLADDING
90mm STUD WALL
BEAM OVER TO ENGINEERS / FRAMERS' DETAILS
STEEL COLUMN APPROX. LOCATION TO ENGINEERS' DETAILS
BRUSHED CONCRETE
POLISHED CONCRETE
SELECTED FLOOR WASTE
SELECTED MECHANICAL VENT
APPROX. FLOOR TO CEILING HEIGHT
APPROX. SPRINGING POINT
DOOR NUMBER
WINDOW NUMBER
SELECTED COLORBOND DOWNPIPE (APPROX. LOCATION)
ELECTRICAL METER BOX
SELECTED GRAB RAIL TO COMPLY WITH AS1428.1
SELECTED HANDRAIL & BALUSTRADE TO COMPLY WITH THE NCC
SELECTED HOT WATER SYSTEM
SELECTED RANGE HOOD
SELECTED STEEL ROLLER DOOR
SELECTED SLIDING DOOR
AWNING WINDOW
DOUBLE HUNG WINDOW
FIXED WINDOW
LOUVER WINDOW
SLIDING WINDOW

Proposed Artisan Food & Drink Premises

FOR KENNARDS STAGE / EDEN BREWERY
No. 123-125, Old Bowral Road Mittagong, NSW 2575
Lot 11 / DP 1280507



Development Application

REVISIONS DRAWN DATE

A DA SUBMISSION KSC 28/05/2024

Studio G Design

0435 832 999 studio@mg.com.au

GROUND FLOOR PLAN

A2.0

PROJECT # 337 DATE: 28.05.2024
DRAWN BY: KSC

STUDIO G DESIGN PTY LTD
ABN 71 541 985 936 ©2024

CONSTRUCTION FOR BUSHFIRE
ATTACK LEVEL - BAL 29

REFER TO SECTION 3 & 7 OF A.S.3959-2018 FOR
CONSTRUCTION REQUIREMENTS OF THE FOLLOWING:
FLOORS, EXTERNAL WALLS, EXTERNAL WINDOWS AND
DOORS, ROOFS, GUTTERS, VERANDAS, DECKS AS WELL
AS WATER AND GAS SUPPLY LINES.

CONDENSATION MANAGEMENT

VENTILATION OF ROOF SPACES. PART 3.8.7.4 NCC.

A) WHERE AN EXHAUST SYSTEM COVERED BY 3.8.7.3 DISCHARGES INTO A ROOF SPACE, THE ROOF SPACE MUST BE VENTILATED TO OUTDOOR AIR THROUGH EVENLY DISTRIBUTED OPENINGS.

B) OPENINGS REQUIRED BY (A) MUST HAVE A TOTAL UNOBSTRUCTED AREA OF THE RESPECTIVE CEILING AREA IF THE ROOF PITCH IS MORE THAN 22°. 1/150 OF THE RESPECTIVE CEILING AREA IF THE ROOF PITCH IS NOT MORE THAN 22°.

C) 30% OF THE TOTAL UNOBSTRUCTED AREA REQUIRED BY (B) MUST BE LOCATED NOT MORE THAN 900 MM FROM THE REAR OF THE ROOF SPACE.

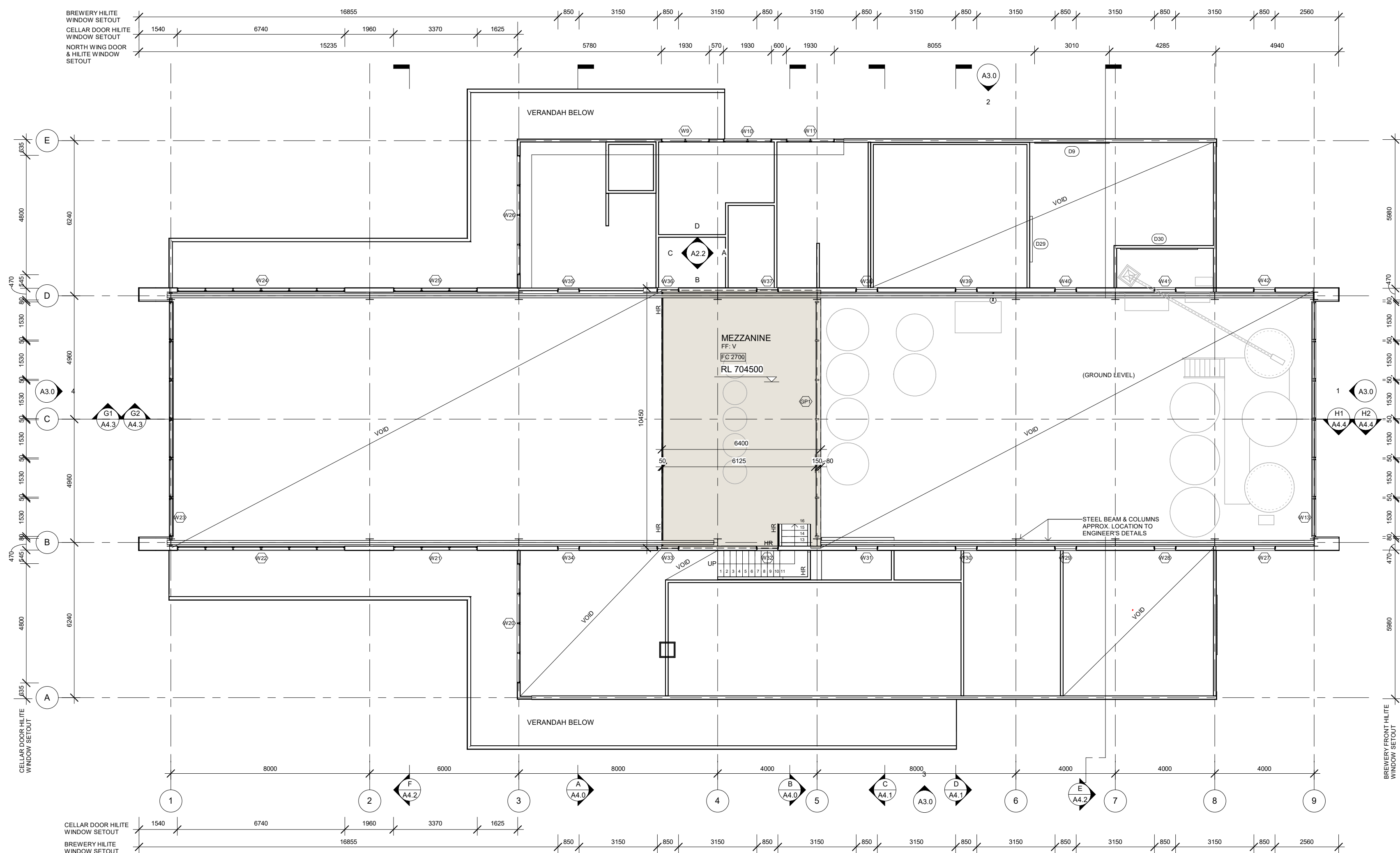
D) THE REMAINING 70% OF THE ROOF SPACE, MUST BE PROVIDED VERTICALLY WITH THE REMAINING REQUIRED AREA PROVIDED BY EAVE VENTS.

SETDOWN NOTE - WET AREAS

PROVIDE ADEQUATE SETDOWN TO WET AREAS FOR WATERPROOFING, MORTAR BED, TILE THICKNESS AND FALL IN FLOOR. ENSURE THAT FINISHED TILE SURFACE FLUSH WITH THAT OF SURROUNDING FLOOR SURFACE.

SMOKE ALARMS

HARD WIRED SMOKE ALARMS ARE TO BE INSTALLED THROUGHOUT THE PREMISES TO COMPLY THE NCC V & ABCB 2022 NSW 9.5.1 SMOKE & HEAT ALARM REQUIREMENTS. SMOKE ALARMS TO ALSO COMPLY WITH THE ENVIRONMENTAL PLANNING & ASSESSMENT AMENDMENT (SMOKE ALARMS) REGULATION 2006



1 MEZZANINE FLOOR PLAN
A3.0 1 : 100

FLOOR AREAS

PROPOSED PREMISES	
AMENITIES	(51.67m ²)
CELLAR DOOR	(274.90m ²)
ENTRY	(47.23m ²)
PRIVATE DINING ROOM	(52.54m ²)
KITCHEN	(33.25m ²)
MEZZANINE	(65.13m ²)
TOTAL	524.72m²

PROPOSED PRODUCTION BREWERY

	BREWERY	(229.27m ²)
	COLD STORAGE	(38.27m ²)
	GRAIN STORE	(17.47m ²)
	MILL ROOM	(7.05m ²)
	WARM STORAGE	(37.40m ²)
	OFFICE	(23.32m ²)
	LAB / WC	(8.97m ²)
	TOTAL	361.75m²
	GRAND TOTAL	886.48m²

NOTES

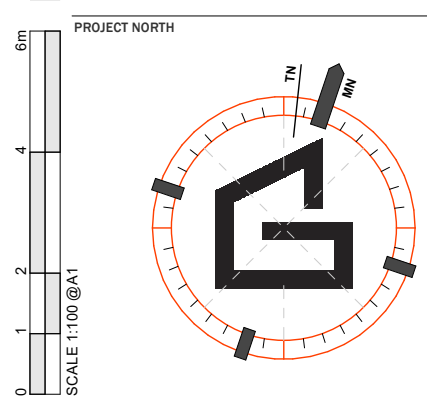
- N1 FOR GENERAL NOTES SEE DRG No.01
- N2 ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION, ORDERING OR MANUFACTURE OF ITEMS.

KEY - PROPOSED

- | | |
|--|--|
| 15mm STEEL FRAME EXTERNAL WALL
20mm SELECTED STEEL CLADDING | |
| 90mm STEEL FRAME EXTERNAL WALL
20mm SELECTED STEEL CLADDING | |
| 90mm STUD WALL | |
| BEAM OVER TO ENGINEERS /
FRAMERS DETAILS | |
| STEEL COLUMN APPROX. LOCATION
TO EXISTING DETAILS | |
| BUSHED CONCRETE | |
| POLISHED CONCRETE | |
| SELECTED FLOOR WASTE | |
| APPROX. MECHANICAL VENT | |
| APPROX. FLOOR TO CEILING HEIGHT | |
| APPROX. SPRINGING POINT | |
| DOOR NUMBER | |
| WINDOW NUMBER | |
| SELECTED COLOUR/DOOR FINISH
(APPROX. LOCATION) | |
| ELECTRICAL METER BOX | |
| SELECTED GRAB RAIL TO COMPLY
WITH THE HANDBAULTS | |
| SELECTED HANDBAULTS TO
COMPLY WITH THE WATER | |
| SELECTED RANGE HOOD | |
| SELECTED STEEL ROLLER DOOR | |
| SELECTED SLIDING DOOR | |
| AWNING WINDOW | |
| DOUBLE HUNG WINDOW | |
| F FIXED WINDOW | |
| LOWR WINDOW | |
| S SLIDING WINDOW | |

Proposed Artisan Food & Drink Premises

FOR
KENNARDS
STORAGE //
EDEN BREWERY



APPLICATION
Development Application

REVISIONS	DRAWN	DATE
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A	DA SUBMISSION	KSC	28.05.2024
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Studio  Design

0435 812 999 studiodesigns.com.au

MEZZANINE FLOOR PLAN

A2.1

PROJECT # **337** DATE: 28.05.2024
DRAWN BY: KSC
STUDIO G DESIGN PTY LTD
ABN 71 641 985 926 ©2024

CONSTRUCTION FOR BUSHFIRE
ATTACK LEVEL - BAL 29

REFER TO SECTION 3.8.7 OF AS 3999-2018 FOR
CONSTRUCTION REQUIREMENTS OF THE FOLLOWING:
FLOORS, EXTERNAL WALLS, EXTERNAL WINDOWS AND
DOORS, ROOFS, GUTTERS, VERANDAS, DECKS AS WELL
AS WATER AND GAS SUPPLY LINES.

CONDENSATION MANAGEMENT

VENTILATION OF ROOF SPACES, PART 3.8.7.4 NCC.

A) WHERE AN EXHAUST SYSTEM COVERED BY 3.8.7.3
DISCHARGES INTO A ROOF SPACE, THE ROOF SPACE
MUST BE VENTILATED TO OUTDOOR AIR THROUGH
EVENLY DISTRIBUTED OPENINGS.
B) OPENINGS REQUIRED BY (A) MUST HAVE A TOTAL
UNOBSTRUCTED AREA OF 1/300 OF THE RESPECTIVE
CEILING AREA. IF THE ROOF PITCH IS MORE THAN 2° OR
1/100 OF THE RESPECTIVE CEILING AREA IF THE ROOF
PITCH IS NOT MORE THAN 2°.
C) 50% OF THE TOTAL UNOBSTRUCTED AREA REQUIRED
BY (B) MUST BE LOCATED NOT MORE THAN 900 MM BELOW
THE RIDGE OR HIGHEST POINT OF THE ROOF SPACE,
MEASURED VERTICALLY WITH THE REMAINING REQUIRED
AREA PROVIDED BY EAVE VENTS.

BREWERY & CELLAR DOOR -
SECTION J REPORT

FOR DETAILS ON BUILDING FABRIC, EXTERNAL GLAZING,
BUILDING SEALING, A/C & VENTILATION SYSTEMS, &
ARTIFICIAL LIGHTING & POWER, REFER TO SECTION J
REPORT PREPARED BY BERA
REFERENCE: 2084 RWD, DATED: 17/04/2024

SETDOWN NOTE - WET AREAS

PROVIDE ADEQUATE SETDOWN TO WET AREAS FOR
WATERPROOFING, MORTAR BED, TILE THICKNESS AND
FALL IN FLOOR, ENSURE THAT FINISHED TILE SURFACE IS
FLUSH WITH THAT OF SURROUNDING FLOOR SURFACES.

SMOKE ALARMS

HARD WIRED SMOKE ALARMS ARE TO BE INSTALLED
THROUGHOUT THE PREMISES TO COMPLY THE NCC VOL 1
& ASICS 2022 NSW SLS S1 SMOKE & HEAT ALARM
REQUIREMENTS. SMOKE ALARMS TO ALSO COMPLY WITH
THE ENVIRONMENTAL PLANNING & ASSESSMENT
AMENDMENT (SMOKE ALARMS) REGULATION 2009

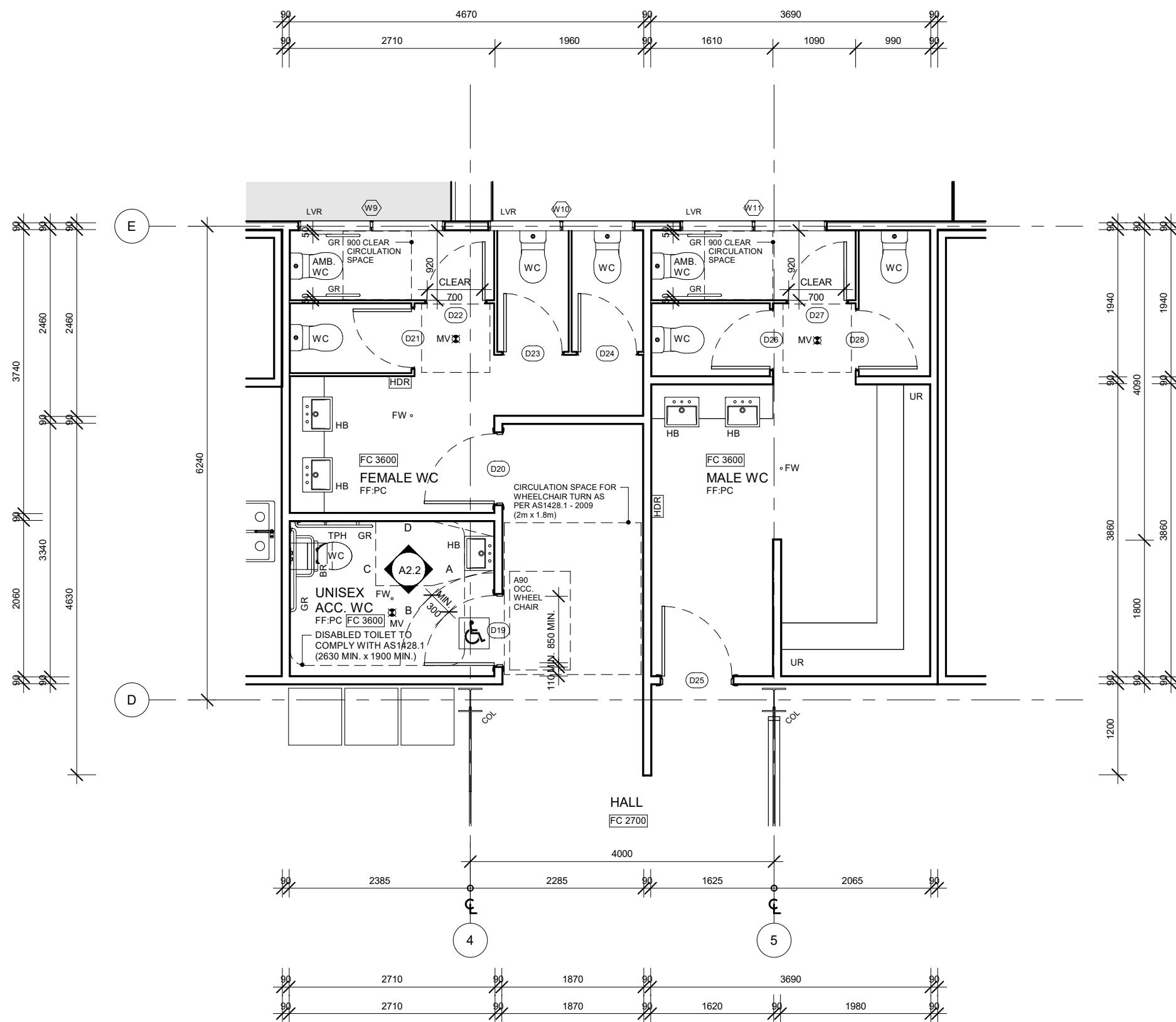
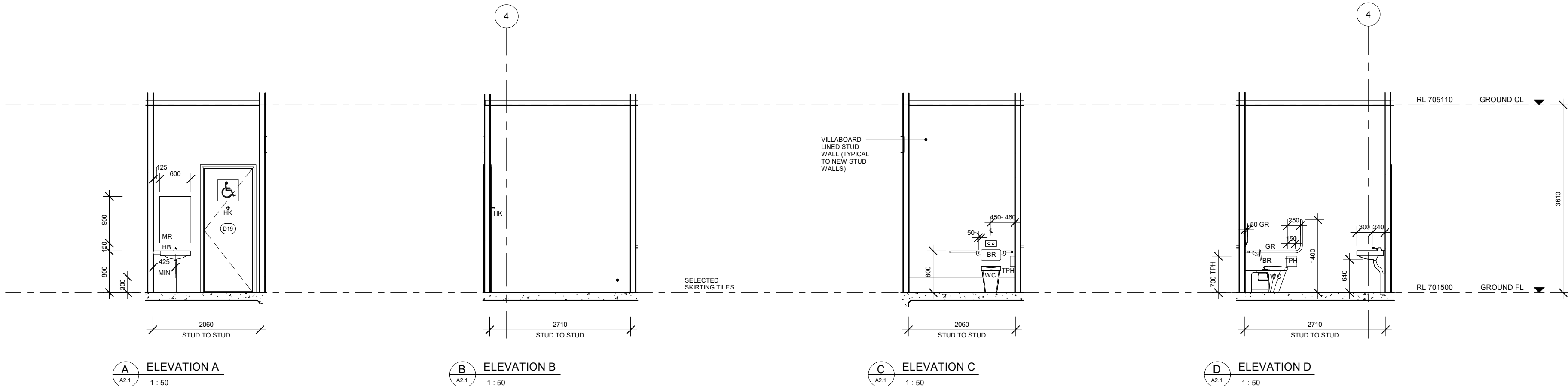
KEY - PROPOSED

	150mm STEEL FRAME EXTERNAL WALL
	20mm SELECTED STEEL CLADDING
	90mm STEEL FRAME EXTERNAL WALL
	20mm SELECTED STEEL CLADDING
	90mm STUD WALL
	BEAM OVER TO ENGINEERS / FRAMERS' DETAILS
	STEEL COLUMN APPROX. LOCATION TO ENGINEERS' DETAILS
	BRUSHED CONCRETE
	POLISHED CONCRETE
	SELECTED VINYL FLOOR BOARDS
	SELECTED FLOOR WASTE
	SELECTED MECHANICAL VENT
	APPROX. FLOOR TO CEILING HEIGHT
	APPROX. SPRINGING POINT
	DOOR NUMBER
	WINDOW NUMBER
	SELECTED COLORBOND DOWNPIPE (APPROX. LOCATION)
	ELECTRICAL METER BOX
	SELECTED GRAB RAIL TO COMPLY WITH AS1428.1
	SELECTED HANDRAIL & BALUSTRAIDING TO COMPLY WITH THE NCC
	SELECTED HOT WATER SYSTEM
	SELECTED RANGE HOOD
	SELECTED STEEL ROLLER DOOR
	SELECTED SLIDING DOOR
	AWNING WINDOW
	DOUBLE HUNG WINDOW
	FIXED WINDOW
	LOUVER WINDOW
	SLIDING WINDOW

AMENITIES PLAN NOTES & KEY

- FOR GENERAL NOTES SEE DRG No.01
- ALL DIMENSIONS TO BE CHECKED ON SITE
PRIOR TO CONSTRUCTION, ORDERING OR
MANUFACTURE OF ITEMS
- DISABLED RAMPS, KERRING & HANDRAILS TO
COMPLY WITH AS1428.1 & 1428.2
- DISABLED TOILET TO COMPLY WITH AS1428.1
- WET AREAS MUST BE WATERPROOFED IN
ACCORDANCE WITH AS1749-2010 & THE NCC

	90mm STUD WALL
	PROVIDE DISABLED SIGNAGE INDICATING FACILITY & DIRECTION IN ACCORDANCE WITH AS1428.1
	SELECTED BACK REST TO WC TO COMPLY WITH AS1428.1
	POLISHED CONCRETE
	FLOOR WASTE
	DISABLED GRAB RAIL TO COMPLY WITH AS1428.1
	SELECTED HAND BASIN TO COMPLY WITH AS1428.1 (PART 15.3)
	SELECTED HAND DRYER
	SELECTED COAT HOOK TO COMPLY WITH AS1428.1
	SELECTED MIRROR TO COMPLY WITH AS1428.1 (PART 15.4.1)
	TOILET PAPER HOLDER



1 FLOOR PLAN - AMENITIES & UNISEX ACCESSIBLE WC

A2.1 1:50

ADDITIONAL BCA NOTES

SECTION C FIRE RESISTANCE

PART C3 PROTECTION OF OPENINGS

C3.1.1 SOUNDING CONSTRUCTION.
PROTECTION FOR A DOORWAY MUST BE PROTECTED BY SELF-CLOSING TIGHT FITTING SOLID CORE DOORS
FOR TYPE B AND C CONSTRUCTION.
OTHER OPENINGS IN INTERNAL WALLS WHICH ARE REQUIRED TO HAVE AN FRL WITH RESPECT TO INTEGRITY
AND INSULATION MUST NOT REDUCE THE FIRE RESISTING PERFORMANCE OF THE WALL.
C3.1.2 OPENINGS IN FLOORS AND CEILINGS FOR SERVICES.
WHERE SERVICES PASS THROUGH A FLOOR WHICH IS REQUIRED TO ACHIEVE A FRL OR A CEILING REQUIRED
TO HAVE A R50, THE SERVICE MUST BE ENCLOSED WITH A FIRE RESISTING SHAFT OR FIRE PROTECTED IN
ACCORDANCE WITH CLAUSE C3.15.

SECTION D ACCESS & EGRESS

ENABLED PERSONS USE OF ESCAPE

D1.1 DISCHARGE FROM EXITS.
a) AN EXIT MUST NOT BE BLOCKED AT THE POINT OF DISCHARGE AND WHERE NECESSARY, SUITABLE
BARRIERS MUST BE PROVIDED TO PREVENT VEHICLES FROM BLOCKING THE EXIT OR ACCESS TO IT.
b) IF A REQUIRED EXIT LEADS TO AN OPEN SPACE, THE PATH OF TRAVEL TO THE ROAD MUST HAVE AN
UNOBSTRUCTED WIDTH THROUGHOUT OF NOT LESS THAN -
1) THE MINIMUM WIDTH OF THE REQUIRED EXIT;
2) OR 1m, WHICHEVER IS THE GREATER.
c) IF AN EXIT DISCHARGES TO OPEN SPACE THAT IS AT A DIFFERENT LEVEL THAN THE PUBLIC ROAD TO
WHICH IT IS CONNECTED, THE PATH OF TRAVEL TO THE ROAD MUST BE BY -
1) A RAMP OR OTHER INCLINE HAVING A GRADIENT NOT STEEPER THAN 1:4 AT ANY PART OR NOT STEEPER
THAN 1:14 IF REQUIRED BY THE DEEMED-TO-SATISFY PROVISIONS OF PART D3;
2) THE DISCHARGE POINT OF ALTERNATIVE EXITS MUST BE LOCATED AS FAR APART AS PRACTICAL.
d) THE NUMBER OF PERSONS ACCOMMODATED MUST BE CALCULATED ACCORDING TO D1.13.

PART D2 CONSTRUCTION OF EXITS

D2.10 FIRE-RESISTANT RAMPS

A RAMP SERVING AS A REQUIRED EXIT MUST -
a) WHERE THE RAMP IS ALSO SERVING AS AN ACCESSIBLE RAMP UNDER PART D3, BE IN ACCORDANCE WITH
AS1428.1; OR
b) IN ANY OTHER CASE, HAVE A GRADIENT NOT STEEPER THAN 1:8.
THE FLOOR SURFACE OF A RAMP MUST HAVE A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT
LISTED IN TABLE D2.14 WHEN TESTED IN ACCORDANCE WITH AS1686.

D2.15 THRESHOLDS.

GENERALLY THE THRESHOLD OF A DOORWAY MUST NOT INCORPORATE A STEP OR RAMP AT ANY POINT
CLOSER TO THE DOORWAY THAN THE WIDTH OF THE DOOR LEAVES UNLESS THE DOORWAY IS IN A BUILDING
REQUIRED TO BE ACCESSIBLE BY PART D3, AND IN WHICH CASE THE DOORWAY OPENS TO A ROAD OR OPEN
SPACE AND IS PROVIDED WITH A THRESHOLD RAMP OR STEP RAMP IN ACCORDANCE WITH AS1428.1.

PART D3 ACCESS FOR PEOPLE WITH A DISABILITY

GENERAL BUILDING ACCESS REQUIREMENTS, ACCESSIBLE CARPARKING, SIGNAGE TACTILE INDICATORS
AND RAMPS TO COMPLY WITH SECTION D3 OF THE NCC.

SECTION E SERVICES & EQUIPMENT

PART E1 FIRE FIGHTING EQUIPMENT

E1.1 PORTABLE FIRE EXTINGUISHERS

PORTABLE FIRE EXTINGUISHERS MUST BE - PROVIDED AS LISTED IN TABLE 1.6.
E1.9 FIRE PRECAUTIONS DURING CONSTRUCTION.
a) A BUILDING UNDER CONSTRUCTION -
b) NOT LESS THAN ONE PORTABLE FIRE EXTINGUISHER TO SUIT CLASS A, B AND C FIRES AND ELECTRICAL
FIRES MUST BE PROVIDED AT ALL TIMES ON EACH STOREY ADJACENT TO EACH REQUIRED / TEMPORARY
EXIT.

SECTION F HEALTH AND AMENITY

PART F1 DRAIN & SEWERAGE

F1.1 STORMWATER DRAINAGE

STORMWATER DRAINAGE MUST COMPLY WITH ASINZS 3500.3-2015.

PART F2 SANITARY & OTHER FACILITIES

F2.5 CONSTRUCTION OF SANITARY COMPARTMENTS.

SANITARY COMPARTMENTS MUST HAVE -
a) DOORS AND PARTITIONS THAT SEPARATE ADJACENT COMPARTMENTS, AND
b) THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT MUST OPEN OUTWARDS, OR SLIDE, OR BE
REMOVABLE FROM OUTSIDE OF THE COMPARTMENT, UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1.2m
BETWEEN THE CLOSEST PART WITH THE COMPARTMENT AND THE DOORWAY.

F4.4 ARTIFICIAL LIGHTING

ARTIFICIAL LIGHTING TO BE INSTALLED IN ACCORDANCE WITH
ASINZS1686.3-2005 TO SPECIFIC BUILDING AREAS.

F4.5 VENTILATION OF ROOMS

ALL ROOMS TO BE PROVIDED WITH CLAUSE F4.5 COMPLIANT NATURAL VENTILATION OR A MECHANICAL
VENTILATION OR AIR-CONDITIONING SYSTEM COMPLYING WITH AS1686.3-2012.

NOTES

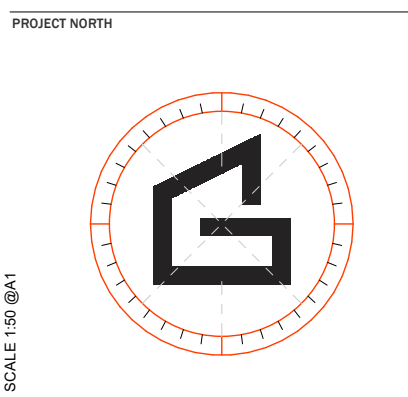
N1 FOR GENERAL NOTES SEE DRG No.01

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ITEMS.

Proposed Artisan
Food & Drink
Premises

FOR
KENNARDS
STORAGE //
EDEN BREWERY

No. 123-125,
Old Bowral Road
Mittagong, NSW 2575
Lot 11 / DP 1280507



APPLICATION
Development Application

REVISIONS
DRAWN DATE

A DA SUBMISSION KSC 28.05.2024

Studio G Design

0435 812 999 studio@mg.com.au

AMENITIES FLOOR PLAN
& UNISEX ACCESSIBLE
WC DETAILS

A2.2

PROJECT #
337

DATE: 28.05.2024
DRAWN BY: KSC

STUDIO G DESIGN PTY LTD
ABN 71 541 985 936 ©2024

**CONSTRUCTION FOR BUSHFIRE
ATTACK LEVEL - BAL 29**

REFER TO SECTION 3.8.7 OF AS 3999-2018 FOR
CONSTRUCTION REQUIREMENTS OF THE FOLLOWING:
FLOORS, EXTERNAL WALLS, EXTERNAL WINDOWS AND
DOORS, ROOFS, GUTTERS, VERANDAH, DECKS AS WELL
AS WATER AND GAS SUPPLY LINES.

CONDENSATION MANAGEMENT

VENTILATION OF ROOF SPACES, PART 3.8.7.4 NCC.

A) WHERE AN EXHAUST SYSTEM COVERED BY 3.8.7.3
DISCHARGES INTO A ROOF SPACE, THE ROOF SPACE
MUST BE VENTILATED TO OUTDOOR AIR THROUGH
EVENLY DISTRIBUTED OPENINGS.

B) OPENINGS REQUIRED BY (A) MUST HAVE A TOTAL
UNOBSTRUCTED AREA OF 1/300 OF THE RESPECTIVE
CEILING AREA IF THE ROOF PITCH IS MORE THAN 22° OR
1/100 OF THE RESPECTIVE CEILING AREA IF THE ROOF
PITCH IS NOT MORE THAN 22°.

C) 50% OF THE TOTAL UNOBSTRUCTED AREA REQUIRED
BY (B) MUST BE LOCATED NOT MORE THAN 600 MM BELOW
THE RIDGE OR HIGHEST POINT OF THE ROOF SPACE,
MEASURED VERTICALLY WITH THE REMAINING REQUIRED
AREA PROVIDED BY EAVE VENTS.

**BREWERY & CELLAR DOOR -
SECTION J REPORT**

FOR DETAILS ON BUILDING FABRIC, EXTERNAL GLAZING,
BUILDING SEALING, A/C & VENTILATION SYSTEMS, &
ARTIFICIAL LIGHTING & POWER, REFER TO SECTION J
REPORT PREPARED BY BERA
REFERENCE: 2084 RWD, DATED: 17/04/2024

SETDOWN NOTE - WET AREAS

PROVIDE ADEQUATE SETDOWN TO WET AREAS FOR
WATERPROOFING, MORTAR BED, TILE THICKNESS AND
FALL IN FLOOR, ENSURE THAT FINISHED TILE SURFACE IS
FLUSH WITH THAT OF SURROUNDING FLOOR SURFACES.

SMOKE ALARMS

HARD WIRED SMOKE ALARMS ARE TO BE INSTALLED
THROUGHOUT THE PREMISES TO COMPLY WITH THE NCC VOL 1
& AS3522 NSW 6.5.1. SMOKE & HEAT ALARM
REQUIREMENTS SMOKE ALARMS TO ALSO COMPLY WITH
THE ENVIRONMENTAL PLANNING & ASSESSMENT
AMENDMENT (SMOKE ALARMS) REGULATION 2009

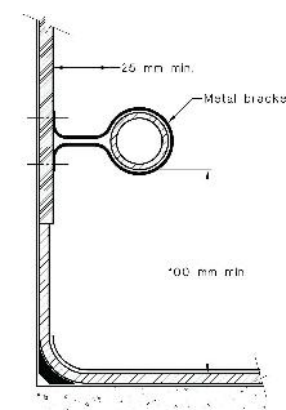
PIPES, CONDUITS & ELECTRICAL WIRING NOTE:

SERVICE PIPES, CONDUITS AND ELECTRICAL
WIRING SHALL EITHER BE -

a) CONCEALED IN FLOORS, PLINTHS, WALLS OR
CEILING; OR
b) FIXED ON BRACKETS SO AS TO PROVIDE AT
LEAST 20mm CLEARANCE BETWEEN THE PIPE AND
ADJACENT VERTICAL SURFACE AND 100mm
BETWEEN THE PIPE OR CONDUIT AND ADJACENT
HORIZONTAL SURFACES.

NOTE: The brackets ensure that there is a gap between
the wall and the pipes, conduits or wires to facilitate
cleaning and to avoid providing harbourage areas for
pests.

ALL PENETRATIONS SHALL BE SEALED TO
MAINTAIN THE INTEGRITY OF THE ORIGINAL
STRUCTURE. SERVICE PIPES, CONDUITS AND
ELECTRICAL WIRING SHALL NOT BE PLACED IN
THE RECESSED TOE SPACE OF PLINTHS OR OF
ANY EQUIPMENT.



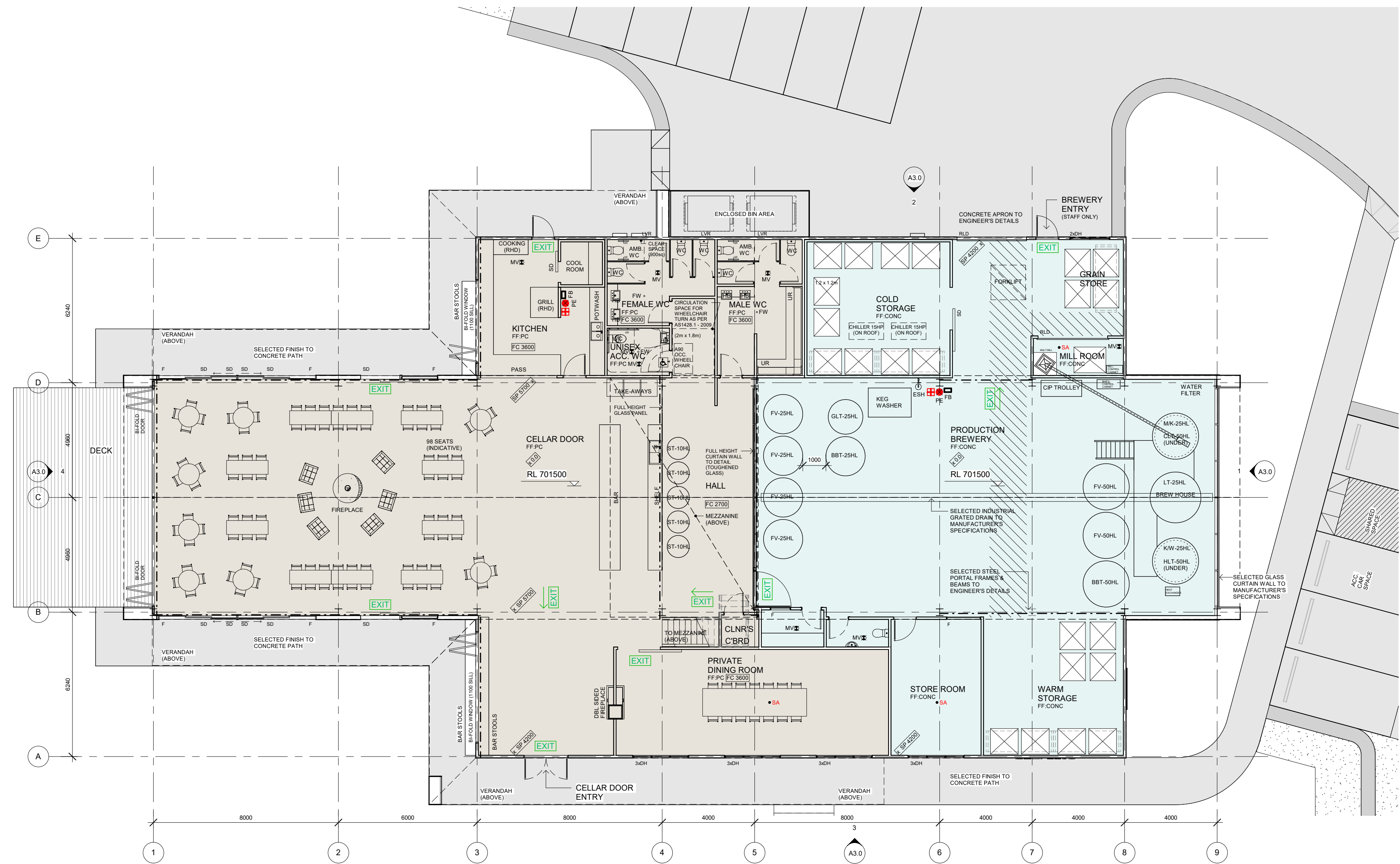
COLD STORAGE NOTE:

REFRIGERATOR AND FREEZER CAPACITY (INCLUDING DISPLAY
EQUIPMENT) AND STORAGE AND DISPLAY CAPACITY FOR HOT FOOD
SHALL BE ADEQUATE FOR THE BUSINESS TO:

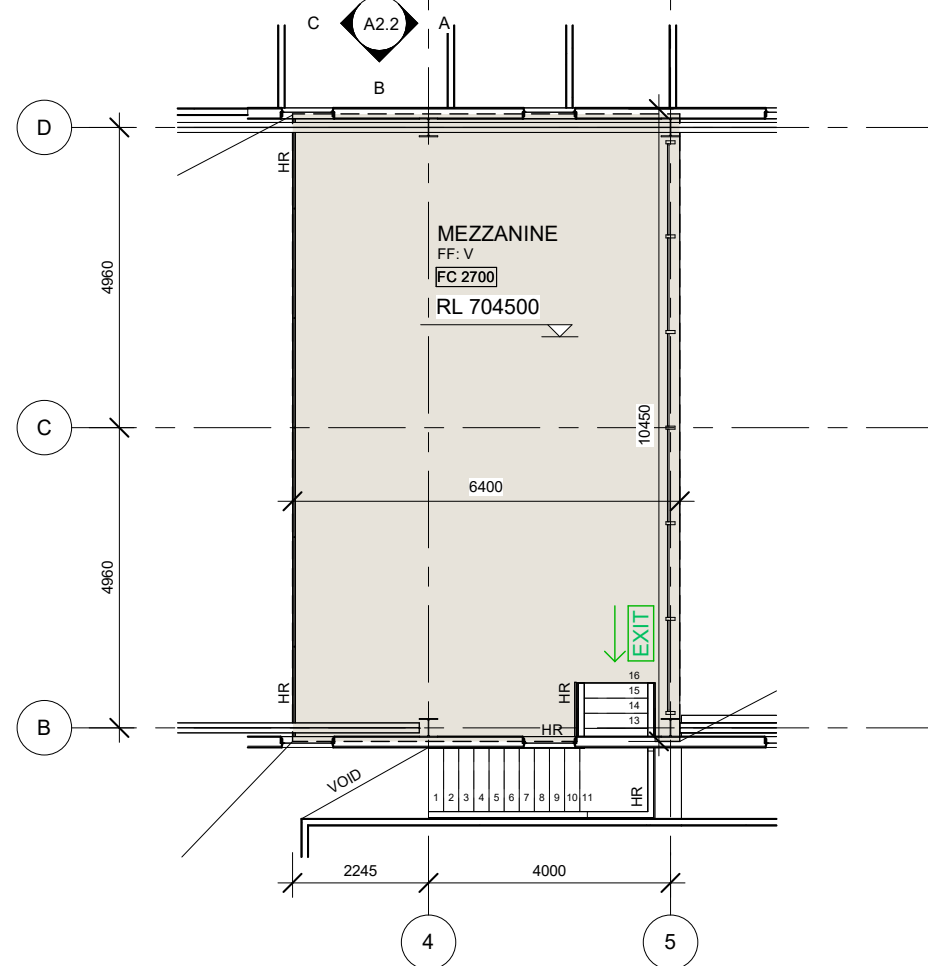
i) COMPLY WITH FOOD SAFETY STANDARD 3.2.2 OF THE FOOD
STANDARD CODE FOR THE STORAGE AND DISPLAY OF POTENTIALLY
HAZARDOUS FOODS; AND
ii) ENSURE THAT THERE IS SUFFICIENT ADDITIONAL CAPACITY FOR ANY
OTHER FOODS THAT THE BUSINESS STORES CHILLED, FROZEN OR HOT.

**DESIGN CONSTRUCTION & FIT-OUT
OF FOOD PREMISES NOTES - AS4674**

- LOCATION AND ACCESS TO GREASE ARRESTORS TO COMPLY WITH
AS4674 - 2.3
- NATURAL & MECHANICAL VENTILATION TO COMPLY WITH THE NCC.
- LIGHTING, THE KITCHEN AND DINING AREA TO HAVE NATURAL OR
ARTIFICIAL LIGHTING IN ACCORDANCE WITH THE NCC, WHERE ARTIFICIAL
LIGHTING IS PROVIDED THE LIGHTING SHALL ALSO COMPLY WITH THE
REQUIREMENTS OF AS1680.1.
- THE LIGHT FITTINGS IN THE KITCHEN SHALL BE DESIGNED AND
CONSTRUCTED TO PREVENT CONTAMINATION OF FOOD SHOULD A
GLOBE OR TUBE SHATTER AND BE FREE FROM ANY FEATURES THAT
WOULD HARBOUR DIRT, DUST OR INSECTS.
- FLOOR FINISHES FOR FOOD PREMISES AND COVING DETAILS TO
COMPLY WITH AS4674 - 3.1.
- WALL & CEILING GENERAL REQUIREMENTS & FINISHES FOR FOOD
PREMISES TO COMPLY WITH AS4674 - 3.2.
- EQUIPMENT FOR CLEANING & SANITIZING TO AS4674 - 4.1.
- DESIGN, CONSTRUCTION & INSTALLATION OF FIXTURES, FITTINGS &
EQUIPMENT TO COMPLY WITH AS4674 - 4.2 & 4.3.
- HANDWASHING FACILITIES TO COMPLY WITH AS4674 - 4.4.



1 CELLAR DOOR & BREWERY FITOUT
A2.2
1: 100



2 MEZZANINE FITOUT
A2.3
1: 100

FLOOR AREAS

PROPOSED PREMISES	
AMENITIES	(51.67m²)
CELLAR DOOR	(274.90m²)
ENTRY	(47.23m²)
PRIVATE DINING ROOM	(52.54m²)
KITCHEN	(33.25m²)
MEZZANINE	(65.13m²)
TOTAL	524.72m²
PROPOSED PRODUCTION BREWERY	
BREWERY	(229.27m²)
COLD STORAGE	(38.27m²)
GRAIN STORE	(17.47m²)
MILL ROOM	(7.05m²)
WARM STORAGE	(37.40m²)
OFFICE	(23.33m²)
LAB / WC	(8.97m²)
TOTAL	361.75m²
GRAND TOTAL	886.48m²

NOTES

- N1 FOR GENERAL NOTES SEE DRG No.01
- N2 ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO
CONSTRUCTION, ORDERING OR MANUFACTURE OF
ITEMS.

KEY - PROPOSED

- 150mm STEEL FRAME EXTERNAL WALL
20mm SELECTED STEEL CLADDING
- 90mm STEEL FRAME EXTERNAL WALL
20mm SELECTED STEEL CLADDING
- 90mm STUD WALL
- BEAM OVER TO ENGINEERS /
FRAMERS' DETAILS
- COL STEEL COLUMN APPROX. LOCATION
TO ENGINEERS' DETAILS
- FF-CONC BRUSHED CONCRETE
- FF-PC POLISHED CONCRETE
- FW* SELECTED FLOOR WASTE
- MV* SELECTED MECHANICAL VENT
- FC XXXX APPROX. FLOOR TO CEILING HEIGHT
- BP XXXX APPROX. SPRINGING POINT
- (01) DOOR NUMBER
- (02) WINDOW NUMBER
- DP SELECTED COLORBOND DOWNPIPE
(APPROX. LOCATION)
- EMB ELECTRICAL METER BOX
- GR SELECTED GRAB RAIL TO COMPLY
WITH AS1428.1
- HR SELECTED HANDRAIL & BALUSTADING
TO COMPLY WITH THE NCC
- HWFS SELECTED HOT WATER SYSTEM
- RWD SELECTED RANGE HOOD
- RLD SELECTED STEEL ROLLER DOOR
- SD SELECTED SLIDING DOOR
- A AWNING WINDOW
- DH DOUBLE HUNG WINDOW
- F FIXED WINDOW
- LVR LOUVER WINDOW
- S SLIDING WINDOW

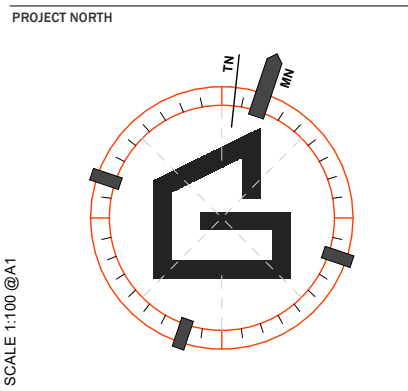
KEY - ESSENTIAL SERVICES

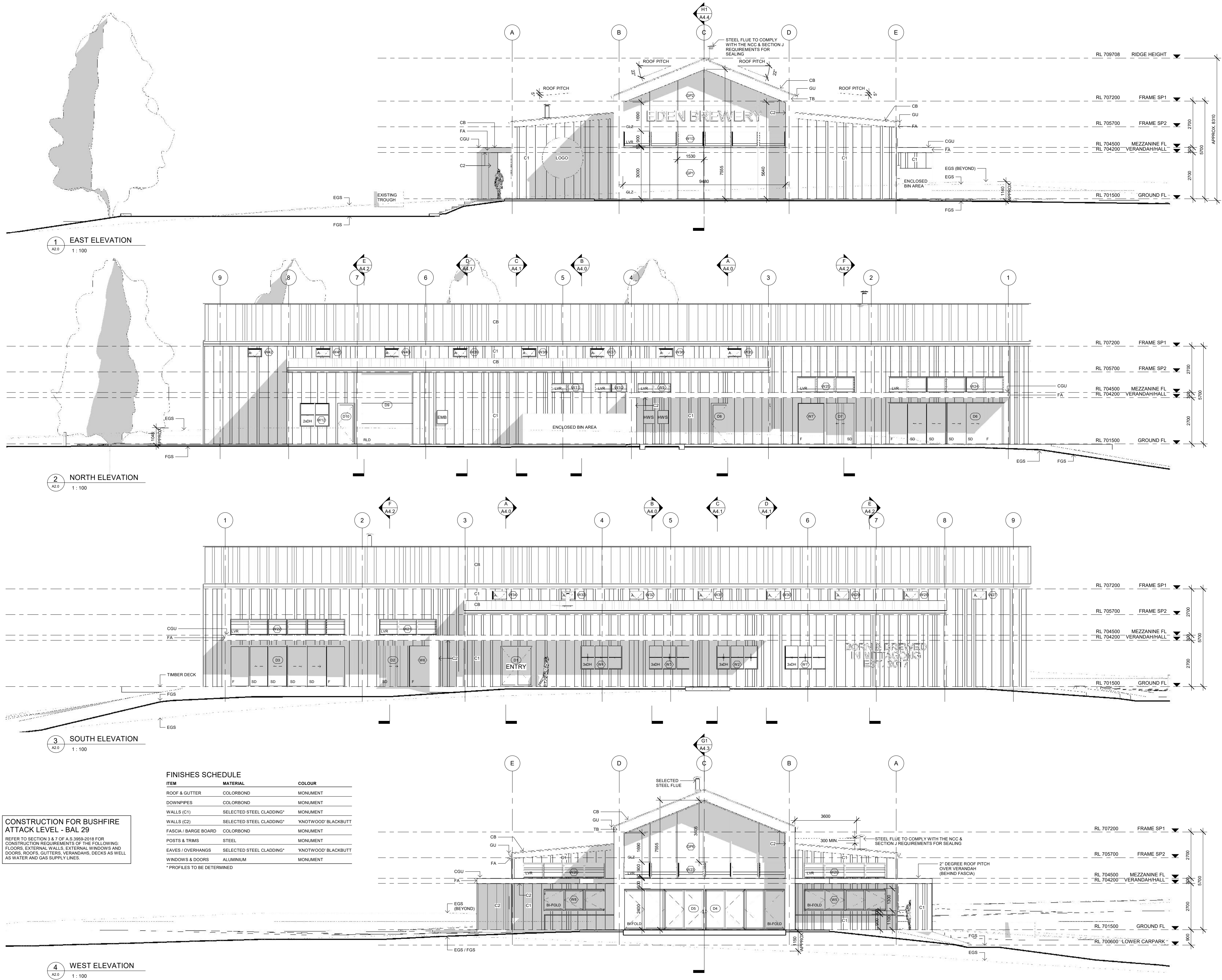
- ESH EMERGENCY SHOWER
- EXIT SELECTED 'EXIT' SIGN TO COMPLY WITH
AS1319 & AS2293.1 IN ACCORDANCE WITH THE
NCC SECTION E PART 5.4
- FB FIRE BLANKET TO COMPLY WITH AS2444 - 2001
- FA FIRST AID
- PE SELECTED PORTABLE FIRE EXTINGUISHER
TO COMPLY WITH AS2444 IN ACCORDANCE
WITH THE NCC SECTION E, PART 5.1
- SA SELECTED SMOKE ALARM

**Proposed Artisan
Food & Drink
Premises**

FOR
KENNARDS
STORAGE //
EDEN BREWERY

No. 123-125,
Old Bowral Road
Mittagong, NSW 2575
Lot 11 / DP 1280507



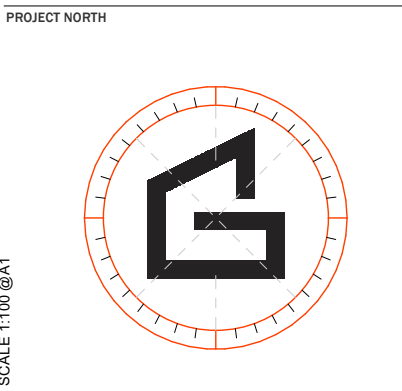


- NOTES**
- N1 FOR GENERAL NOTES SEE DRG No.01
- N2 ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION, ORDERING OR MANUFACTURE OF ITEMS.
- KEY**
- CB SELECTED STEEL ROOF SHEETING
- CGU SELECTED CONCEALED GUTTER
- DP SELECTED DOWNPIPE
- EGS APPROX. EXISTING GROUND SURFACE
- EMB ELECTRICAL METER BOX
- FA SELECTED COLORBOND FASCIA
- FGS APPROX. FINISHED GROUND SURFACE
- GU SELECTED COLORBOND GUTTERING
- GLZ SELECTED GLASS CURTAIN WALL TO MANUFACTURERS SPECIFICATIONS
- TB SELECTED COLORBOND BARGEBOARD
- C1 SELECTED STEEL CLADDING
- C2 SELECTED STEEL CLADDING
- RLD SELECTED STEEL ROLLER DOOR
- SD SELECTED SLIDING DOOR
- A SELECTED ALUMINIUM FRAMED AWNING WINDOW
- DH SELECTED ALUMINIUM FRAMED DOUBLE HUNG WINDOW
- F SELECTED ALUMINIUM FRAMED FIXED WINDOW
- LVR SELECTED ALUMINIUM FRAMED LOUVER WINDOW
- S SELECTED ALUMINIUM FRAMED SLIDING WINDOW

Proposed Artisan Food & Drink Premises

FOR KENNARDS STORAGE // EDEN BREWERY

No. 123-125, Old Bowral Road Mittagong, NSW 2575 Lot 11 / DP 1280507



APPLICATION Development Application

REVISIONS DRAWN DATE

A DA SUBMISSION KSC 28/05/2024

Studio G Design
0435 832 999 studio@design.com.au

ELEVATIONS & FINISHES SCHEDULE

A3.0

PROJECT # 337 DATE: 28.05.2024
DRAWN BY: KSC
STUDIO G DESIGN PTY LTD
ABN 71 541 985 926 ©2024

SECTION J4D7 - BUILDING SEALING

ALL EXTERNAL WINDOWS AND DOORS TO BE SEALED

- Applies to all doors and windows on the conditioned envelope, or any habitable room in Climate Zone 6.
- Sealing is not required for windows complying with AS2047, a fire door or smoke door, or roller shutter or other doors used only for out-of-hours security.
- Bottom edges of door must be sealed with a draft protection device; all other sealing can be a foam or rubber compression seal or the like.

CEILING, WALL & FLOOR CONSTRUCTION TO MINIMISE AIR LEAKAGE

- Applies to all elements of the conditioned envelope, including window and door frames, or any habitable room in Climate Zone 6.
- Lining systems must be close fitting at the ceiling, wall and floor junctions.
- Junctions and penetrations must be sealed with close fitting architrave, skirting or cornice; or expanding foam, rubber

Junctions and penetrations must be sealed with close fitting architrave, skirting or cornice; or expanding foam, rubber

- Minimum R Value of 2.0 (down) required in Climate Zone 6.

ENERGY EFFICIENCY REPORT - SUMMARY

GENERAL

- Building fabric thermal insulation must be installed correctly in compliance with J4D3 and J5D7

ROOF/CEILING

- Dark roof colour. (Selected; Monument)
- Minimum R1.3 anticon blanket installed below roof. A minimum gap must be maintained between anticon and bulk insulation
- Minimum R1.5 bulk insulation installed above ceiling

GLAZING

- Upper Panel of main west facing glazing - maximum Total Wt System (TWS) U-Value of 3.0 and maximum TWS SHGC of (Refer to report for detailed location)
- Remainder of glazing - maximum TWS U-Value of 5.0, and maximum TWS SHGC of 0.6.

WALLS

- Minimum R2.5 bulk insulation added to all walls on perimeter of the conditioned envelope.
- Minimum R0.2 thermal break (10mm thermal tape or similar) added to steel framing on perimeter of conditioned envelope.

BUILDING SEALING

- All external windows and doors to be sealed; bottom edges of doors to be sealed with a draft-protection device
- Ceiling, Wall and Floor construction to minimise air leakage.
- All doors entering the main dining area to be fitted with a self-closing mechanism, OR, for the main entrance bifold doors only, a 3m deep up conditioned zone to be maintained between the open front and the conditioned space.
- Exhaust Fans to be sealed with self-closing damper or the like.
- Chimney/Flue to be sealed.

IMPORTANT NOTES

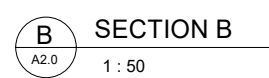
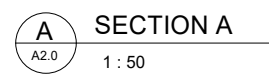
- Only Parts J4 (Building Fabric) and J5 (Building Sealing) are assessed in report.
- Any specific products or materials referenced in this report, or related correspondence, are neither a recommendation nor requirement for the use of that product or material. Compliance may be achieved using alternatives of equal or better thermal performance. Selection of specific products or materials is the exclusive responsibility of the client.

FLOORWASTE NOTE

FLOORWASTE, MEMBRANE & DRAINAGE FLANGE CONNECTION TO BE INSTALLED TO COMPLY WITH BCA 2022 PART 10.2.29

ROOF SARKING NOTE

PROVIDE SARKING-TYPE MATERIAL TO ROOFS & WALLS TO COMPLY WITH AS 4200.1 & BE INSTALLED IN ACCORDANCE WITH AS 4200.2.



NOTES

- N1 FOR GENERAL NOTES SEE DRG No.01
- N2 ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION, ORDERING OR MANUFACTURE OF ITEMS.

BUILDING NOTES

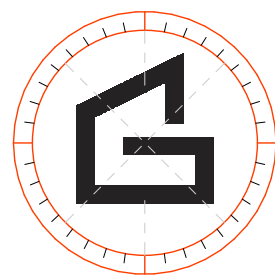
- B1 ALL STRUCTURAL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & COMMON BUILDING PRACTICES.
- B2 ALL TIMBER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS1684.2
- B3 BRACE ALL ROOFING WITH SPEED BRACE.
- B4 THE PROPOSED STRUCTURE TO COMPLY WITH THE REQUIREMENTS OF:
- AS4055 - WIND LOADS FOR HOUSING
 - AS1170 - DEAD & LIVE LOADS
 - AS1170.2 - SNOW LOADS

KEY

- | | |
|-----|--|
| CB | SELECTED STEEL, ROOF SHEETING |
| CG | SELECTED CONCEALED GUTTER |
| DP | SELECTED DOWNPIPE |
| EGS | APPROX. EXISTING GROUND SURFACE |
| EMB | ELECTRICAL METER BOX |
| FA | SELECTED COLORBOND FASCIA |
| FGS | APPROX. FINISHED GROUND |
| GL | SELECTED COLORBOND GUTTERING |
| GLZ | SELECTED GLASS CURTAIN WALL TO MANUFACTURER'S SPECIFICATIONS |
| TB | SELECTED COLORBOND BARROSEAL |
| C1 | SELECTED STEEL CLADDING |
| C2 | SELECTED STEEL CLADDING |
| RLD | SELECTED STEEL ROLLER DOOR |
| SD | SELECTED SLIDING DOOR |
| A | SELECTED ALUMINUM FRAMED A/WING WINDOW |
| DH | SELECTED ALUMINUM FRAMED DOUBLE HUNG WINDOW |
| F | SELECTED ALUMINUM FRAMED FIXED WINDOW |
| LVR | SELECTED ALUMINUM FRAMED LOUVRE WINDOW |
| S | SELECTED ALUMINUM FRAMED SLIDING WINDOW |

Proposed Artisan Food & Drink Premises

FOR
KENNARDS
STORAGE //
EDEN BREWERY



APPLICATION
Development Application
REVISIONS DRAWN DATE

A	DA SUBMISSION	KSC	28.05.20
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Studio  Design

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SECTIONS A & B, SECTION
J REPORT NOTES

A4.0

PROJECT # **337** DATE: 28.05.2024
DRAWN BY: KSC

STUDIO G DESIGN PTY LTD
ABN 71 641 985 926 ©202

**CONSTRUCTION FOR BUSHFIRE
ATTACK LEVEL - BAL 29**

REFER TO SECTION 3.8.7 OF AS 3999-2018 FOR
CONSTRUCTION REQUIREMENTS OF THE FOLLOWING:
FLOORS, EXTERNAL WALLS, EXTERNAL WINDOWS AND
DOORS, ROOFS, GUTTERS, VERANDAHS, DECKS AS WELL
AS WATER AND GAS SUPPLY LINES.

SETDOWN NOTE - WET AREAS

PROVIDE ADEQUATE SETDOWN TO WET AREAS FOR
WATERPROOFING, MORTAR BED, TILE THICKNESS AND
FALL IN FLOOR. ENSURE THAT FINISHED TILE SURFACE IS
FLUSH WITH THAT OF SURROUNDING FLOOR SURFACES.

SMOKE ALARMS

HARD WIRED SMOKE ALARMS ARE TO BE INSTALLED
THROUGHOUT THE PREMISES TO COMPLY THE NCC VOL 1
& AS/NZS 3692:2022 NSW 3.5.1 SMOKE & HEAT ALARM
REQUIREMENTS. SMOKE ALARMS TO ALSO COMPLY WITH
THE ENVIRONMENTAL PLANNING & ASSESSMENT
AMENDMENT (SMOKE ALARMS) REGULATION 2008

TERMITE PROTECTION NOTE

PROVIDE TERMITE BARRIER IN ACCORDANCE WITH
AS3602.1-1-2020.

CONDENSATION MANAGEMENT

VENTILATION OF ROOF SPACES: PART 3.8.7.4 NCC.

A) WHERE AN EXHAUST SYSTEM COVERED BY 3.8.7.3
DISCHARGES INTO A ROOF SPACE, THE ROOF SPACE
MUST BE VENTILATED TO OUTDOOR AIR THROUGH
EVENLY DISTRIBUTED OPENINGS.

B) OPENINGS REQUIRED BY (A) MUST HAVE A TOTAL
UNOBSTRUCTED AREA OF 1/300 OF THE RESPECTIVE
CEILING AREA IF THE ROOF PITCH IS MORE THAN 22° OR
1/100 OF THE RESPECTIVE CEILING AREA IF THE ROOF
PITCH IS NOT MORE THAN 22°.

C) 50% OF THE TOTAL UNOBSTRUCTED AREA REQUIRED
BY (B) MUST BE LOCATED NOT MORE THAN 500 MM BELOW
THE RIDGE OR HIGHEST POINT OF THE ROOF SPACE,
MEASURED VERTICALLY, WITH THE REMAINING REQUIRED
AREA PROVIDED BY EAVE VENTS.

FLOORWASTE NOTE

FLOORWASTE, MEMBRANE & DRAINAGE FLANGE
CONNECTION TO BE INSTALLED TO COMPLY WITH BCA
2022 PART 10.2.29

EXTERNAL MEMBRANE NOTE

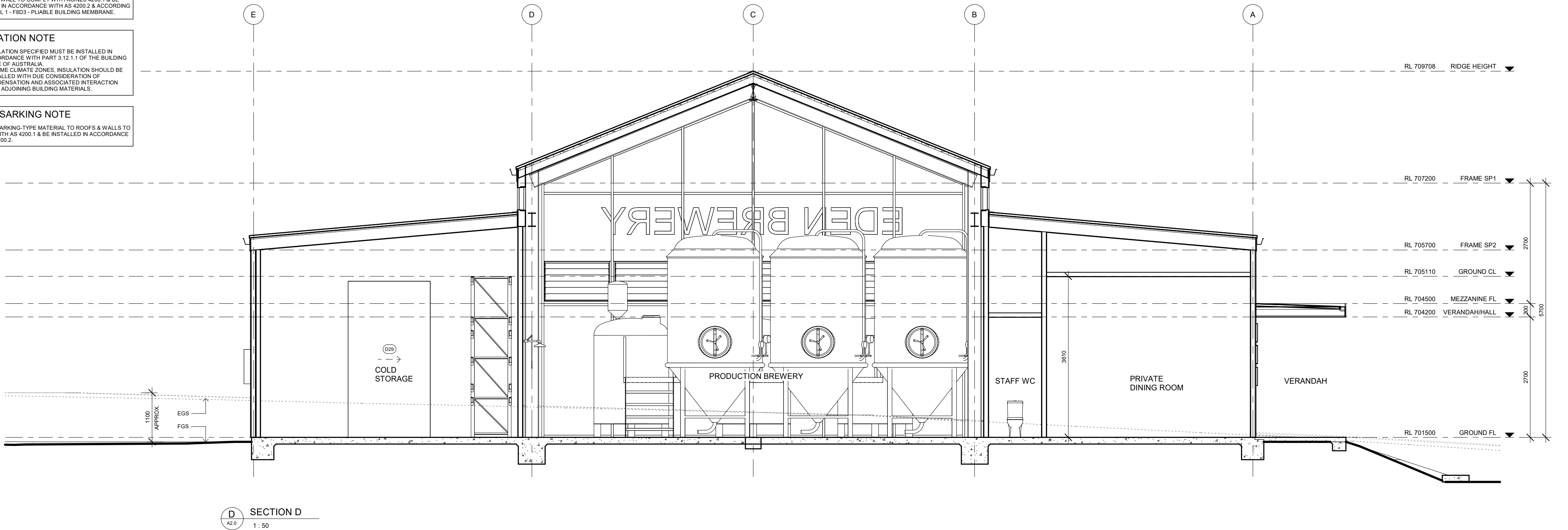
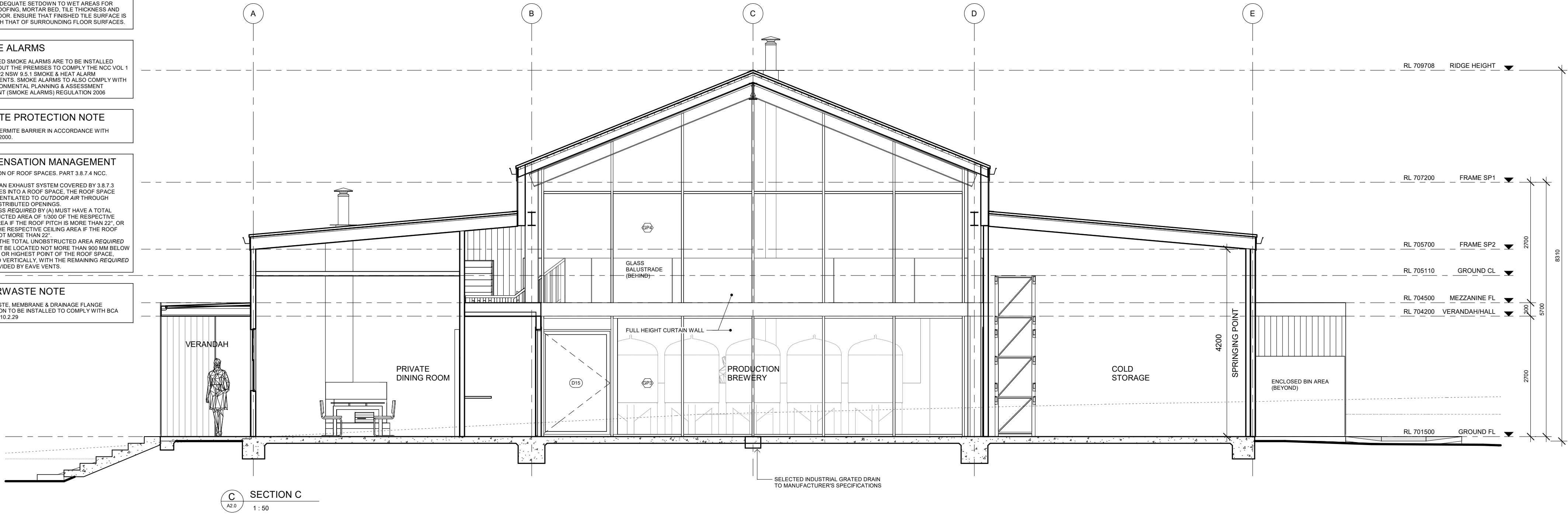
PROVIDE A PLIABLE BUILDING MEMBRANE INSTALLED IN
EXTERNAL WALL TO COMPLY WITH AS/NZS 4200.1 & BE
INSTALLED IN ACCORDANCE WITH AS 4200.2 & ACCORDING
TO NCC VOL 1, F503 - PLIABLE BUILDING MEMBRANE.

INSULATION NOTE

- INSULATION SPECIFIED MUST BE INSTALLED IN
ACCORDANCE WITH PART 3.12.1.1 OF THE BUILDING
CODE OF AUSTRALIA.
- IN SOME CLIMATE ZONES, INSULATION SHOULD BE
INSTALLED WITH DUE CONSIDERATION OF
CONDENSATION AND ASSOCIATED INTERACTION
WITH ADJOINING BUILDING MATERIALS.

ROOF SARKING NOTE

PROVIDE SARKING-TYPE MATERIAL TO ROOF'S & WALLS TO
COMPLY WITH AS 4200.1 & BE INSTALLED IN ACCORDANCE
WITH AS 4200.2.



NOTES

- N1 FOR GENERAL NOTES SEE DRG No.01
N2 ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO
CONSTRUCTION, ORDERING OR MANUFACTURE OF
ITEMS.

BUILDING NOTES

- B1 ALL STRUCTURAL WORK SHALL BE CARRIED OUT IN
ACCORDANCE WITH THE BUILDING CODE OF
AUSTRALIA & COMMON BUILDING PRACTICES.
B2 ALL TIMBER CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE REQUIREMENTS OF
AS1684.2.
B3 BRACE ALL ROOFING WITH SPEED BRACE.
B4 THE PROPOSED STRUCTURE TO COMPLY WITH THE
REQUIREMENTS OF
• AS4555 - WIND LOADS FOR HOUSING
• AS1170 - DEAD & LIVE LOADS
• AS1170.2 - SNOW LOADS

KEY

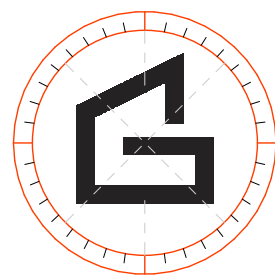
- CS SELECTED STEEL ROOF SHEETING
CGU SELECTED CONCEALED GUTTER
DP SELECTED DOWNPIPE
EGS APPROX. EXISTING GROUND
SURFACE
EMB ELECTRICAL METER BOX
FA ELECTRICAL COLORBOND FASCIA
FGS APPROX. FINISHED GROUND
SURFACE
GU SELECTED COLORBOND GUTTERING
GLZ SELECTED GLASS CURTAIN WALL TO
MANUFACTURER'S SPECIFICATIONS
TB SELECTED COLORBOND
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AWNING WINDOW
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LVR SELECTED ALUMINUM FRAMED
LOUVRE WINDOW
S SELECTED ALUMINUM FRAMED
SLIDING WINDOW

**Proposed Artisan
Food & Drink
Premises**

FOR
KENNARDS
STORAGE //
EDEN BREWERY

No. 123-125,
Old Bowral Road
Mittagong, NSW 2575
Lot 11 / DP 1280507

PROJECT NORTH



APPLICATION
Development Application

REVISIONS
DRAWN DATE

A DA SUBMISSION KSC 28/05/2024

Studio G Design

0433 832 999 studio@sgdesign.com.au

SECTIONS C & D

A4.1

PROJECT #
337

DATE: 28.05.2024
DRAWN BY: KSC

STUDIO G DESIGN PTY LTD
ABN 71 541 365 926 ©2024

**CONSTRUCTION FOR BUSHFIRE
ATTACK LEVEL - BAL 29**

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CONSTRUCTION REQUIREMENTS OF THE FOLLOWING:
FLOORS, EXTERNAL WALLS, EXTERNAL WINDOWS AND
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SETDOWN NOTE - WET AREAS

PROVIDE ADEQUATE SETDOWN TO WET AREAS FOR
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FALL IN FLOOR. ENSURE THAT FINISHED TILE SURFACE IS
FLUSH WITH THAT OF SURROUNDING FLOOR SURFACES.

SMOKE ALARMS

HARD WIRED SMOKE ALARMS ARE TO BE INSTALLED
THROUGHOUT THE PREMISES TO COMPLY THE NCC VOL 1
& AS1684.2. SMOKE & HEAT ALARM
REQUIREMENTS. SMOKE ALARMS TO ALSO COMPLY WITH
THE ENVIRONMENTAL PLANNING & ASSESSMENT
AMENDMENT (SMOKE ALARMS) REGULATION 2008

TERMITE PROTECTION NOTE

PROVIDE TERMITE BARRIER IN ACCORDANCE WITH
AS3602.1 - 2020.

CONDENSATION MANAGEMENT

VENTILATION OF ROOF SPACES: PART 3.8.7.4 NCC.
A) WHERE AN EXHAUST SYSTEM COVERED BY 3.8.7.3
DISCHARGES INTO A ROOF SPACE, THE ROOF SPACE
MUST BE VENTILATED TO OUTDOOR AIR THROUGH
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B) OPENINGS REQUIRED BY (A) MUST HAVE A TOTAL
UNOBSTRUCTED AREA OF 1/300 OF THE RESPECTIVE
CEILING AREA IF THE ROOF PITCH IS MORE THAN 22° OR
1/100 OF THE RESPECTIVE CEILING AREA IF THE ROOF
PITCH IS NOT MORE THAN 22°.
C) 50% OF THE TOTAL UNOBSTRUCTED AREA REQUIRED
BY (B) MUST BE LOCATED NOT MORE THAN 500 MM BELOW
THE RIDGE OR HIGHEST POINT OF THE ROOF SPACE,
MEASURED VERTICALLY WITH THE REMAINING REQUIRED
AREA PROVIDED BY EAVE VENTS.

FLOORWASTE NOTE

FLOORWASTE, MEMBRANE & DRAINAGE FLANGE
CONNECTION TO BE INSTALLED TO COMPLY WITH BCA
2022 PART 10.2.9

EXTERNAL MEMBRANE NOTE

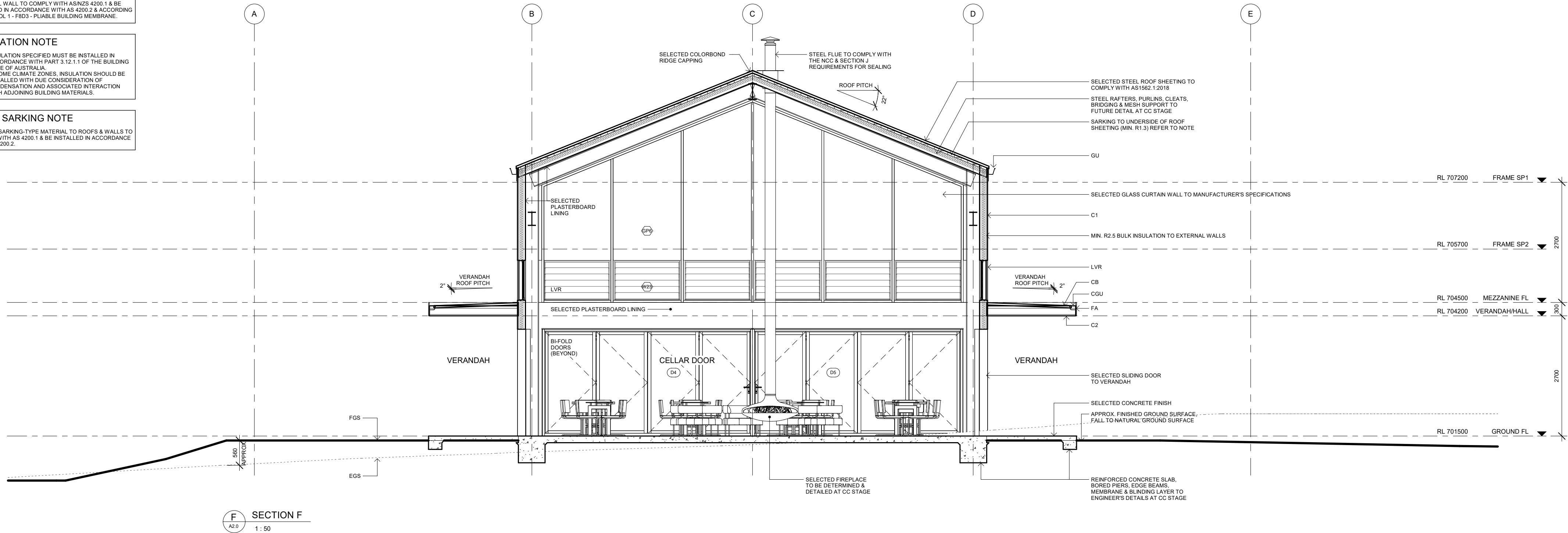
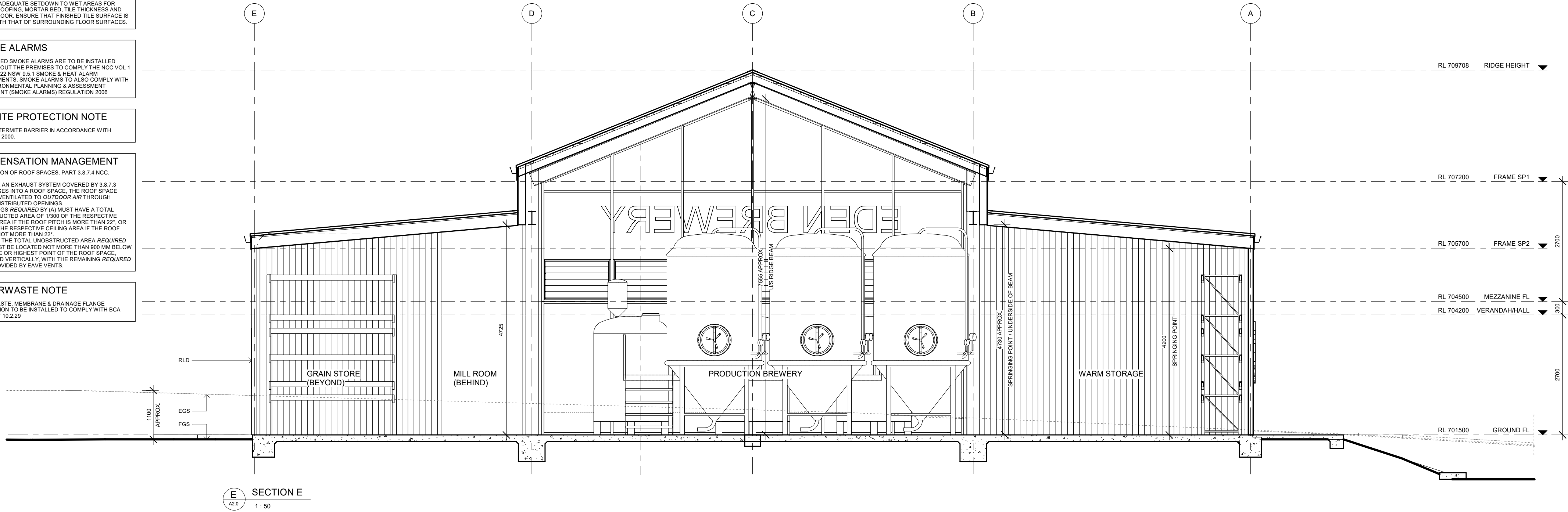
PROVIDE A FLAME BUILDING MEMBRANE INSTALLED IN
EXTERNAL WALL TO COMPLY WITH AS/NZS4200.1 & BE
INSTALLED IN ACCORDANCE WITH AS 4200.2 & ACCORDING
TO NCC VOL 1 - FSD - FLAME BUILDING MEMBRANE.

INSULATION NOTE

- INSULATION SPECIFIED MUST BE INSTALLED IN
ACCORDANCE WITH PART 3.12.1.1 OF THE BUILDING
CODE OF AUSTRALIA.
- IN SOME CLIMATE ZONES, INSULATION SHOULD BE
INSTALLED WITH DUE CONSIDERATION OF
CONDENSATION AND ASSOCIATED INTERACTION
WITH ADJOINING BUILDING MATERIALS.

ROOF SARKING NOTE

PROVIDE SARKING-TYPE MATERIAL TO ROOF'S & WALLS TO
COMPLY WITH AS 4200.1 & BE INSTALLED IN ACCORDANCE
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NOTES

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BUILDING NOTES

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B2 ALL TIMBER CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE REQUIREMENTS OF
AS1684.2.
B3 BRACE ALL ROOFING WITH SPEED BRACE.
B4 THE PROPOSED STRUCTURE TO COMPLY WITH THE
REQUIREMENTS OF
• AS4555 - WIND LOADS FOR ROOFING
• AS1170 - DEAD & LIVE LOADS
• AS1170.2 - SNOW LOADS

KEY

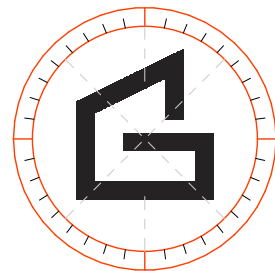
- CB SELECTED STEEL ROOF SHEETING
CGU SELECTED CONCEALED GUTTER
DP SELECTED DOWNPIPE
EGS APPROX. EXISTING GROUND
SURFACE
EMB ELECTRICAL METER BOX
FA SELECTED COLORBOND FASCIA
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Lot 11 / DP 1280507

PROJECT NORTH



APPLICATION
Development Application

REVISIONS DRAWN DATE

A DA SUBMISSION KSC 28.05.2024

Studio G Design

0433 832 999 studio@sgdesign.com.au

SECTIONS E & F

A4.2

PROJECT #
337

DATE: 28.05.2024
DRAWN BY: KSC

STUDIO G DESIGN PTY LTD
ABN 71 541 985 926 ©2024

**CONSTRUCTION FOR BUSHFIRE
ATTACK LEVEL - BAL 29**

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SETDOWN NOTE - WET AREAS

PROVIDE ADEQUATE SETDOWN TO WET AREAS FOR
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SMOKE ALARMS

HARD WIRED SMOKE ALARMS ARE TO BE INSTALLED
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& AS/NZS 3691:2022 SMOKE & HEAT ALARM
REQUIREMENTS. SMOKE ALARMS TO ALSO COMPLY WITH
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AMENDMENT (SMOKE ALARMS) REGULATION 2008

TERMITE PROTECTION NOTE

PROVIDE TERMITE BARRIER IN ACCORDANCE WITH
AS3660.1:2020.

CONDENSATION MANAGEMENT

VENTILATION OF ROOF SPACES: PART 3.8.7.4 NCC.

A) WHERE AN EXHAUST SYSTEM COVERED BY 3.8.7.3
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1/100 OF THE RESPECTIVE CEILING AREA IF THE ROOF
PITCH IS NOT MORE THAN 22°.
C) 50% OF THE TOTAL UNOBSTRUCTED AREA REQUIRED
BY (B) MUST BE LOCATED NOT MORE THAN 800 MM BELOW
THE RIDGE OR HIGHEST POINT OF THE ROOF SPACE,
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AREA PROVIDED BY EAVE VENTS.

FLOORWASTE NOTE

FLOORWASTE, MEMBRANE & DRAINAGE FLANGE
CONNECTION TO BE INSTALLED TO COMPLY WITH BCA
2022 PART 10.2.29

EXTERNAL MEMBRANE NOTE

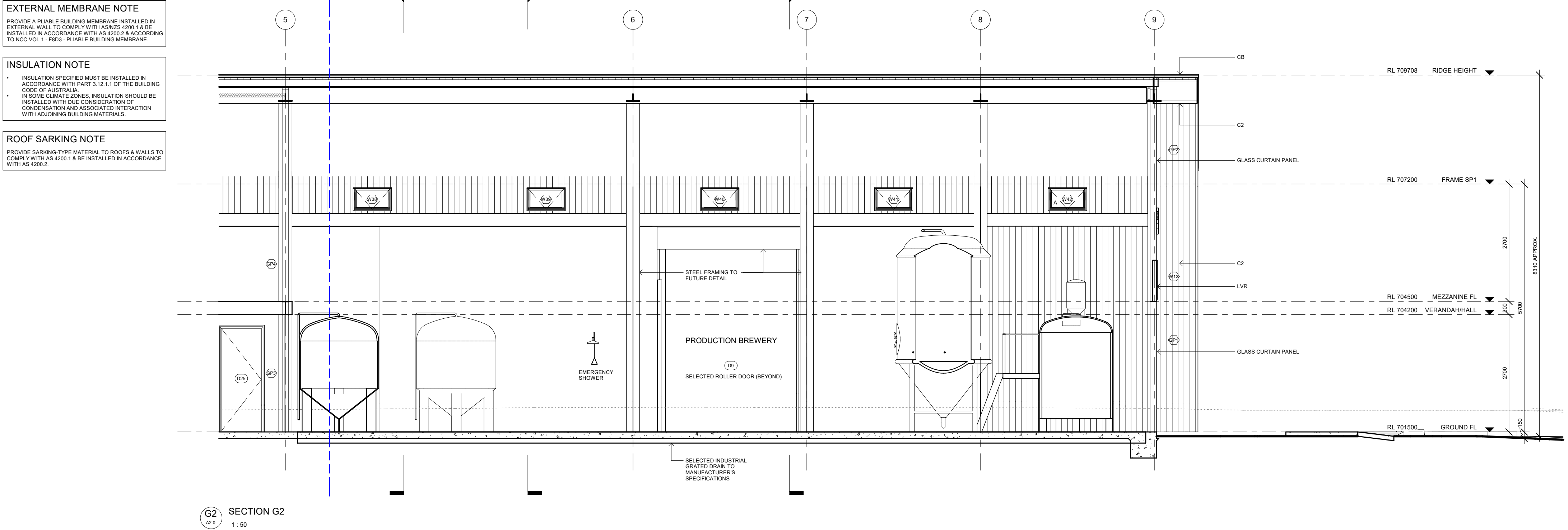
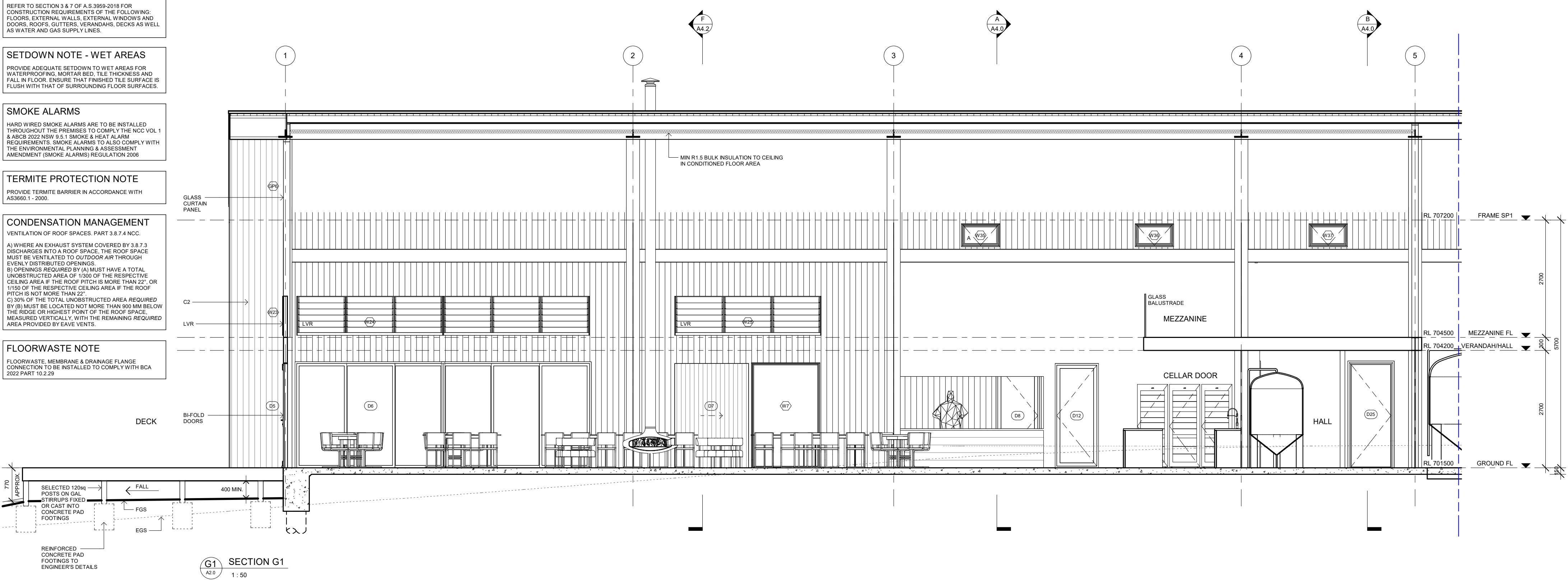
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EXTERNAL WALL TO COMPLY WITH AS/NZS 4200.1 & BE
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TO NCC VOL 1, FBD - PLIABLE BUILDING MEMBRANE.

INSULATION NOTE

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ROOF SARKING NOTE

PROVIDE SARKING-TYPE MATERIAL TO ROOF'S & WALLS TO
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NOTES

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BUILDING NOTES

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B4 THE PROPOSED STRUCTURE TO COMPLY WITH THE
REQUIREMENTS OF
• AS4555 - WIND LOADS FOR HOUSING
• AS1170 - DEAD & LIVE LOADS
• AS1170.2 - SNOW LOADS

KEY

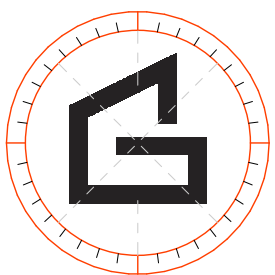
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**Proposed Artisan
Food & Drink
Premises**

FOR
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STORAGE //
EDEN BREWERY

No. 123-125,
Old Bowral Road
Mittagong, NSW 2575
Lot 11 / DP 1280507

PROJECT NORTH



APPLICATION
Development Application
REVISIONS DRAWN DATE

A DA SUBMISSION KSC 28.05.2024

Studio G Design
0435 832 999 studio@mgm.com.au

SECTIONS G1 & G2

A4.3

PROJECT #
337 DATE: 28.05.2024
DRAWN BY: KSC

STUDIO G DESIGN PTY LTD
ABN 71 541 985 936 ©2024

**CONSTRUCTION FOR BUSHFIRE
ATTACK LEVEL - BAL 29**

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SMOKE ALARMS

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& MCC 2022 NSW 3.1.1 SMOKE & HEAT ALARM
REQUIREMENTS. SMOKE ALARMS TO ALSO COMPLY WITH
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TERMITE PROTECTION NOTE

PROVIDE TERMITE BARRIER IN ACCORDANCE WITH
AS3660.1 - 2000.

CONDENSATION MANAGEMENT

VENTILATION OF ROOF SPACES: PART 3.8.7.4 NCC.
A) WHERE AN EXHAUST SYSTEM COVERED BY 3.8.7.3
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FLOORWASTE NOTE

FLOORWASTE, MEMBRANE & DRAINAGE FLANGE
CONNECTION TO BE INSTALLED TO COMPLY WITH BCA
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EXTERNAL MEMBRANE NOTE

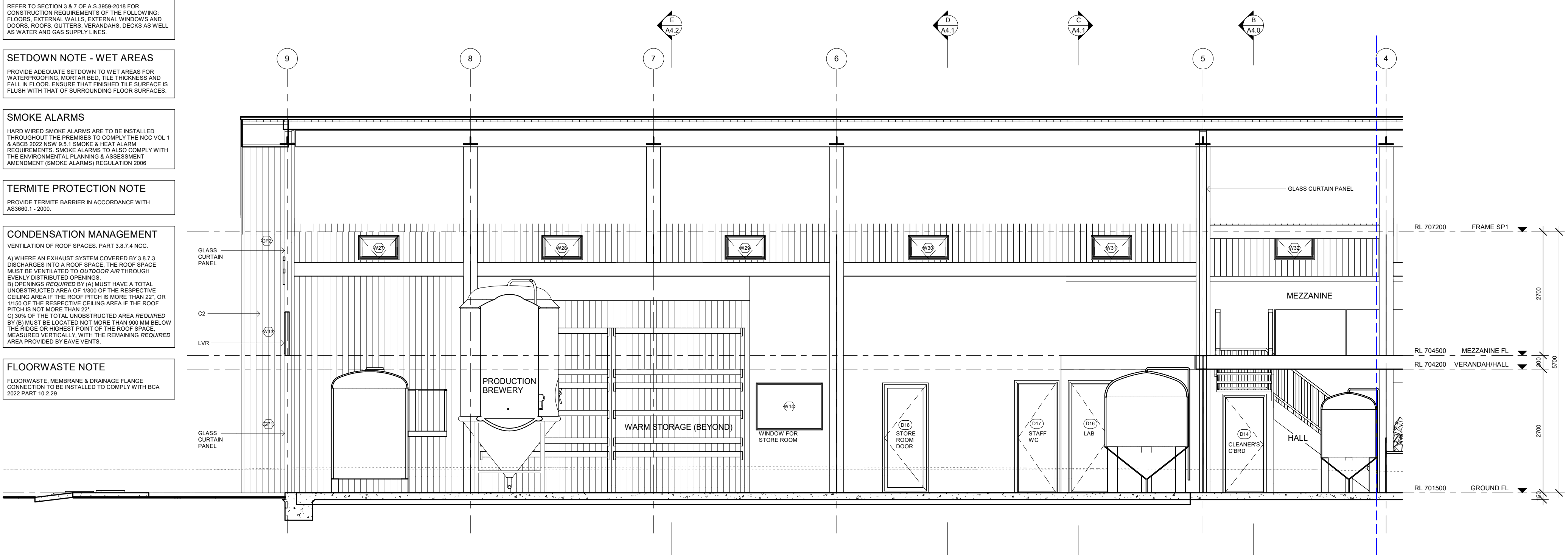
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INSULATION NOTE

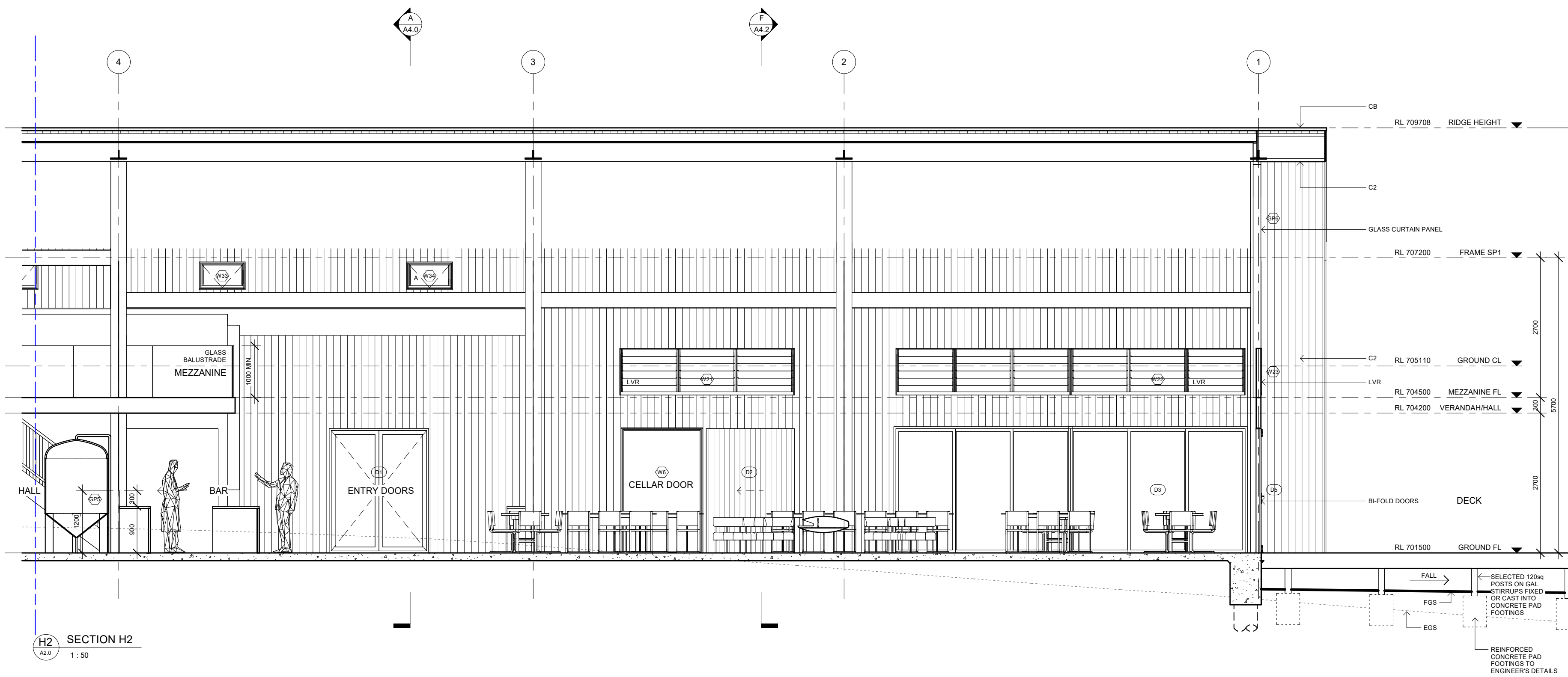
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PROVIDE SARKING-TYPE MATERIAL TO ROOF'S & WALLS TO
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H1
SECTION H1
1:50



H2
SECTION H2
1:50

NOTES

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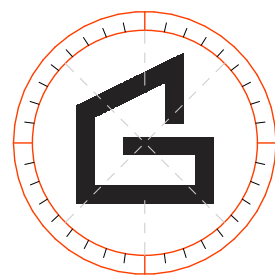
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PROJECT NORTH



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Development Application

REVISIONS

DRAWN DATE

A DA SUBMISSION KSC 28.05.2024

Studio G Design

0435 832 999 studio@sgdesign.com.au

SECTIONS H1 & H2

A4.4

PROJECT #
337

DATE: 28.05.2024
DRAWN BY: KSC

STUDIO G DESIGN PTY LTD
ABN 71 541 985 926 ©2024



NOTES

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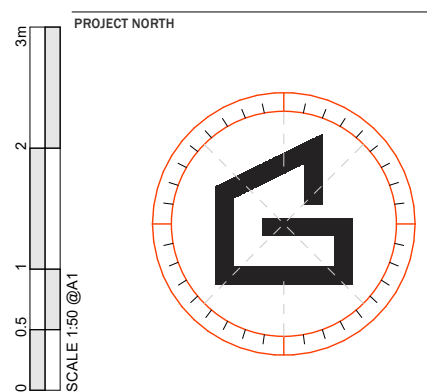
BUILDING NOTES

- | | |
|----|---|
| B1 | ALL STRUCTURAL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & COMMON BUILDING PRACTICES. |
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| B3 | BRACE ALL ROOFING WITH SPEED BRACE. |
| B4 | THE PROPOSED STRUCTURE TO COMPLY WITH THE REQUIREMENTS OF: <ul style="list-style-type: none"> • AS4055 - WIND LOADS FOR HOUSING • AS1170 - DEAD & LIVE LOADS • AS1170.2 - SNOW LOADS |

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Development Application
REVISIONS DRAWN DATE

A DA SUBMISSION HSC 28.05.2024

Studio  Design

0435 812 999 studio@design.com.au

SITE SECTIONS J, K, L & M

A4.5

PROJECT # **337** DATE: 28.05.2024
DRAWN BY: KSC
STUDIO G DESIGN PTY LTD
ABN 71 641 985 926 ©2024



ROOF CLADDING

MATERIAL: STEEL (PROFILE TO BE DETERMINED)
COLOUR: MONUMENT®



FASCIA & BARGEBOARD

MATERIAL: PAINTED ALUMINIUM
COLOUR: MONUMENT®



GUTTERS

MATERIAL: COLORBOND (PROFILE TO BE DETERMINED)
COLOUR: MONUMENT®



DOWNPIPES

MATERIAL: COLORBOND
COLOUR: MONUMENT®



POSTS & TRIMS

MATERIAL: COLORBOND
COLOUR: MONUMENT®



WALLS - CLADDING 1

MATERIAL: STEEL (PROFILE TO BE DETERMINED)
COLOUR: MONUMENT®



WALLS - CLADDING 2

MATERIAL: TIMBER-LOOK PAINTED ALUMINIUM
COLOUR: KNOTWOOD® BLACKBUTT



DOORS & WINDOWS

MATERIAL: ALUMINIUM
COLOUR: MONUMENT®



EAVES & OVERHANGS

MATERIAL: TIMBER-LOOK PAINTED ALUMINIUM
COLOUR: KNOTWOOD® BLACKBUTT



GARAGE DOOR

MATERIAL: PAINTED STEEL
COLOUR: MONUMENT®

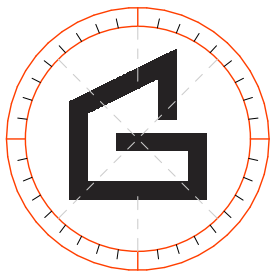


Proposed Artisan
Food & Drink
Premises

FOR
KENNARDS
STORAGE //
EDEN BREWERY

No. 123-125,
Old Bowral Road
Mittagong, NSW 2575
Lot 11 / DP 1280507

PROJECT NORTH



APPLICATION
Development Application

REVISIONS DRAWN DATE

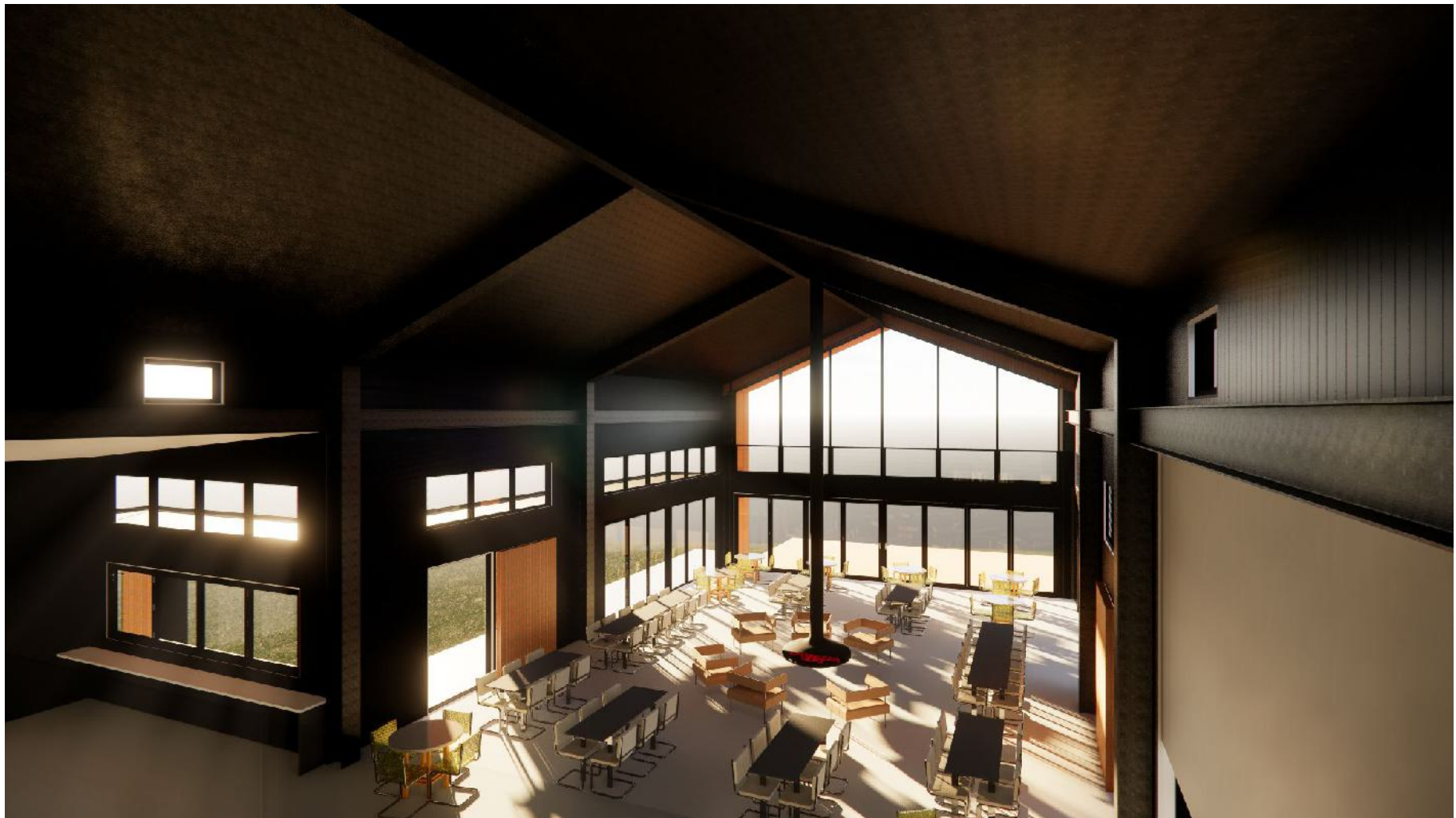
A DA SUBMISSION KSC 28.05.2024

Studio  Design
0435 832 999 studio@mgpr.com.au

EXTERNAL VIEW &
FINISHES

A5.0

PROJECT #
337 DATE: 28.05.2024
DRAWN BY: KSC
STUDIO G DESIGN PTY LTD
ABN 71 541 365 926 ©2024

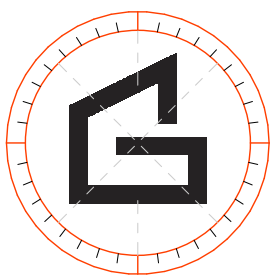


**Proposed Artisan
Food & Drink
Premises**

FOR
KENNARDS
STORAGE //
EDEN BREWERY

No. 123-125,
Old Bowral Road
Mittagong, NSW 2575
Lot 11 / DP 1280507

PROJECT NORTH



APPLICATION
Development Application

REVISIONS DRAWN DATE

A DA SUBMISSION KSC 28.05.2024

Studio G Design
0435 822 999 studio@mgm.com.au

RENDERS

A5.1

PROJECT #
337

DATE: 28.05.2024
DRAWN BY: KSC

STUDIO G DESIGN PTY LTD
ABN 71 541 365 926 ©2024



ATTACHMENT 1 - RECOMMENDED REASONS FOR REFUSAL – DA24/0922

1. Pursuant to Section 4.15(1)(c) of the *Environmental Planning and Assessment Act 1979*, Council is unable to conclude that the site is suitable for the proposed development as the works proposed in this application cannot be supported without the easement and licensing agreement matters first being resolved.
2. Pursuant to Section 4.15(1)(e) of the *Environmental Planning and Assessment Act 1979*, in the circumstances of the case, there are unresolved easement and licensing agreement matters that are critical to enable the works proposed in this DA and that remain unresolved. As such, the works proposed in this application cannot be supported without those easement and licensing agreement matters first being resolved and accordingly, approval of the application would not be in the public interest.
3. Pursuant to Section 4.15 of the *Environmental Planning and Assessment Act 1979*, insufficient information has been submitted with the application to allow a full and proper assessment of the application against the relevant matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979*, including the following:
 - a. Whilst owner's consent was provided for the lodgement of the DA on the subject and adjoining Council owned land, the use of the centre and supermarket relies on various easements and licensing agreements between Woolworths and Council that remain unresolved. This includes a licensing agreement to undertake the proposed physical works and Council's Coordinator Property Services has advised that the terms of the easement and agreement are an ongoing matter and negotiation between Council, the landowners and their tenant. Given that these matters remained largely unresolved and there is no certainty that Council will enter into an agreement for the works or establish new easements, approval of the application cannot be granted.
 - b. Council has sought justification from the applicant and tenant as to why the passenger lift could not be installed within the existing building and on the subject site as opposed to the Council land. Responses provided to date remain unsatisfactory with no satisfactory justification provided.

We're with you

📍 Civic Centre
68 Elizabeth Street
Moss Vale
Gundungurra Country

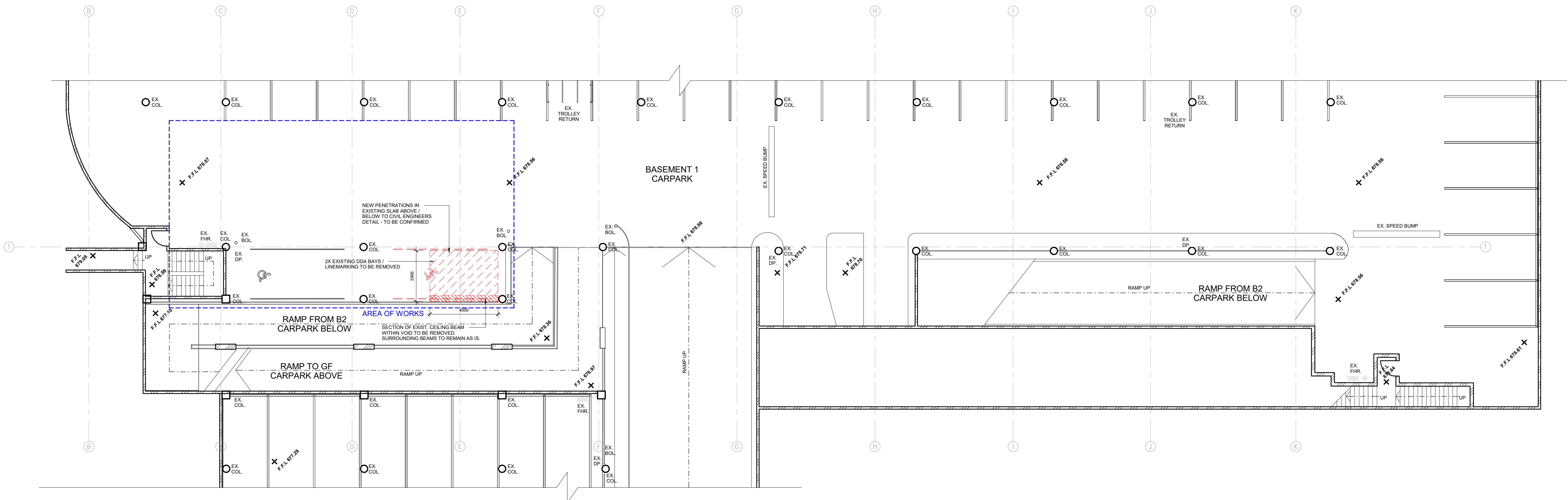
✉ PO Box 141 Moss Vale
NSW 2577

ABN 49 546 344 354

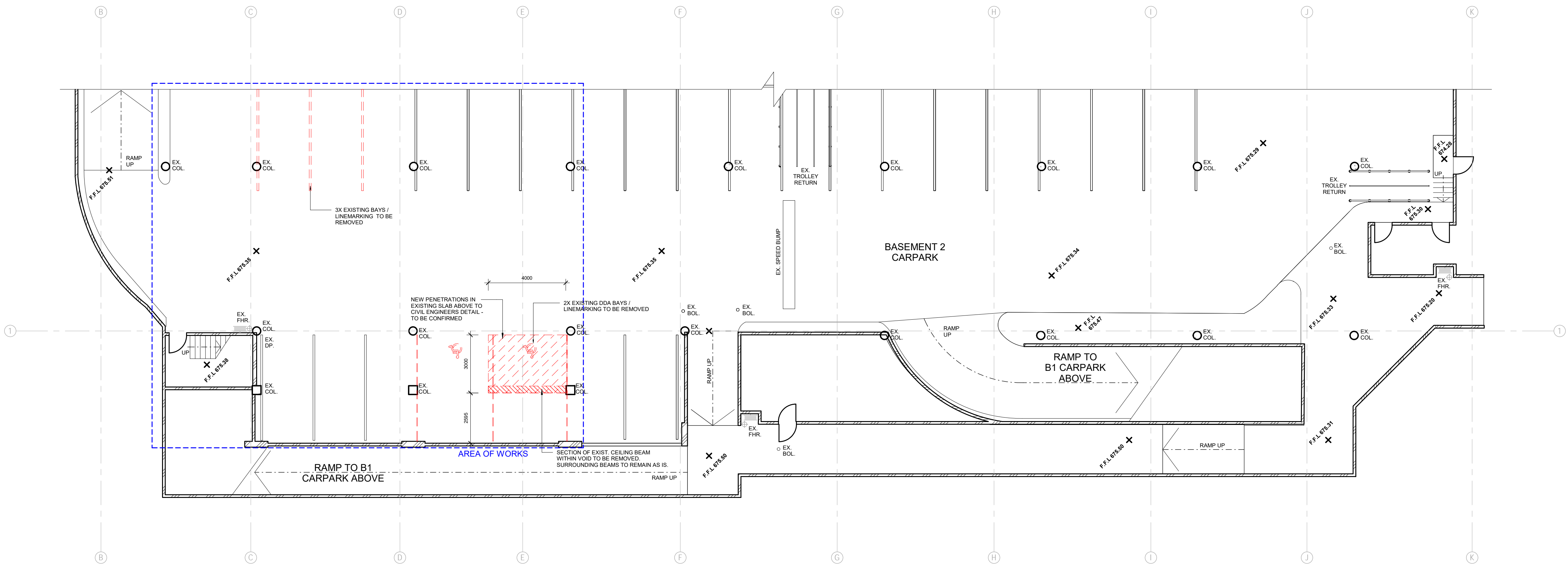
☎ 02 4868 0888

@ mail@wsc.nsw.gov.au

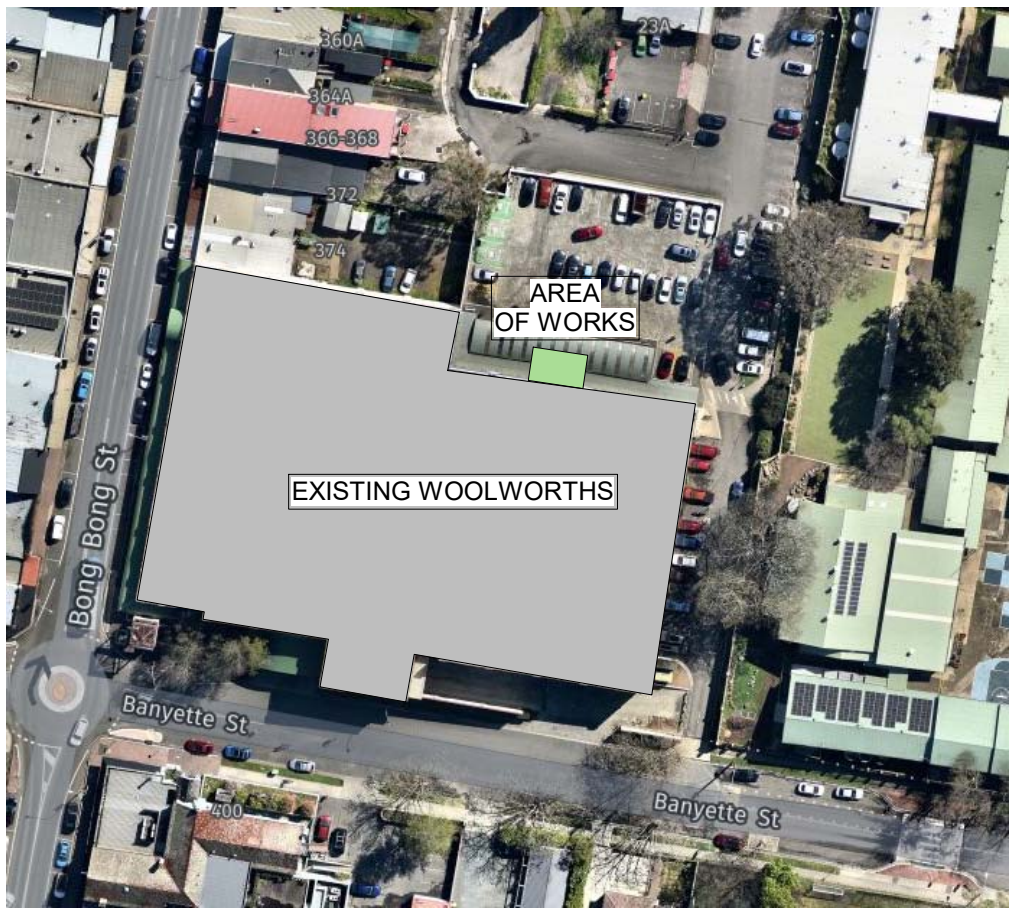
TOWN PLANNING



1 DEMOLITION PLAN - BASEMENT 1
1:100

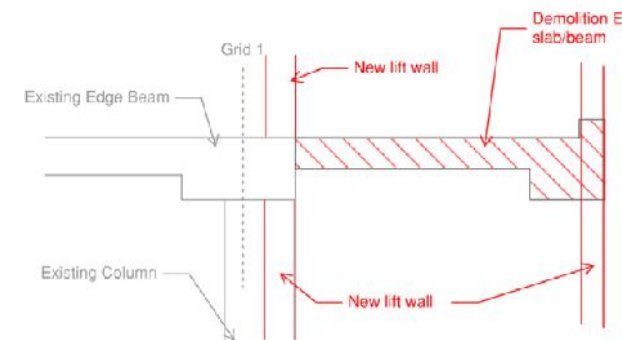


2 DEMOLITION PLAN - BASEMENT 2
1:100



KEY PLAN
Not to Scale

DEMOLITION LEGEND	
	PROPOSED AREA OF WORKS (INDICATIVE)
	ITEMS TO BE REMOVED



SECTION DETAIL EXTRACT
PLEASE NOTE THIS PLAN SET IS TO BE READ IN CONJUNCTION WITH THE STRUCTURAL FEASIBILITY STUDY PREPARED BY AGC.

DATE	BY
22.12.23	AB/TC

No.	DRAWING AMENDMENTS (REVISIONS)	DATE	BY
A	TOWN PLANNING ISSUE	22.12.23	AB/TC

SYDNEY OFFICE
The Royal Arcade, 101-103 Market Street, Sydney NSW 2000
Ph: 02 9250 1000
Fax: 02 9250 1001
Email: info@trg.com.au
Website: www.trg.com.au

Woolworths
The fresh food people


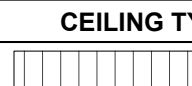

PROJECT ADDRESS	CNR BONG BONG ST, BOWRAL, NSW
BLUEPRINT ISSUE	
DRAWN BY	HB
APPROVED BY	
ISSUED TO	WW

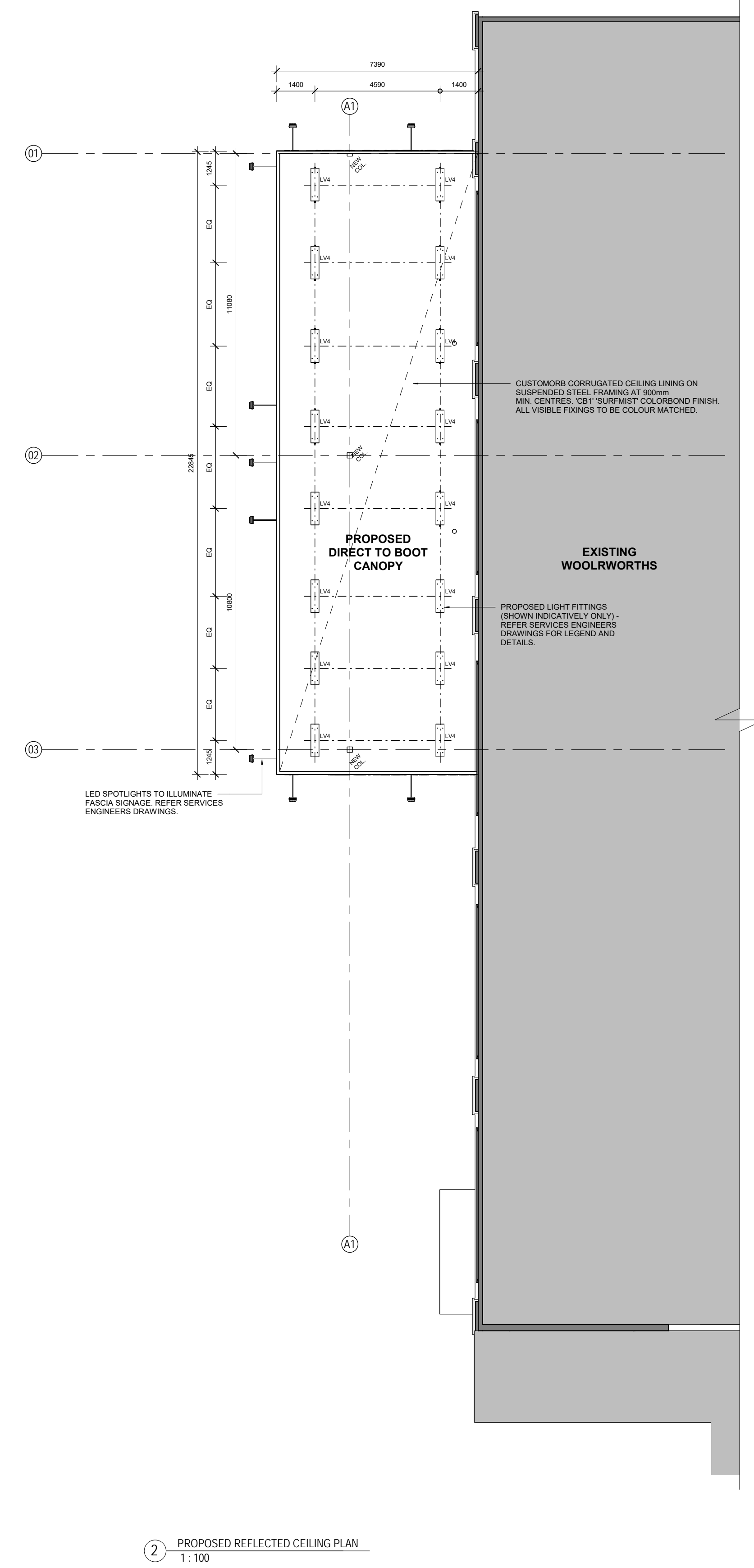
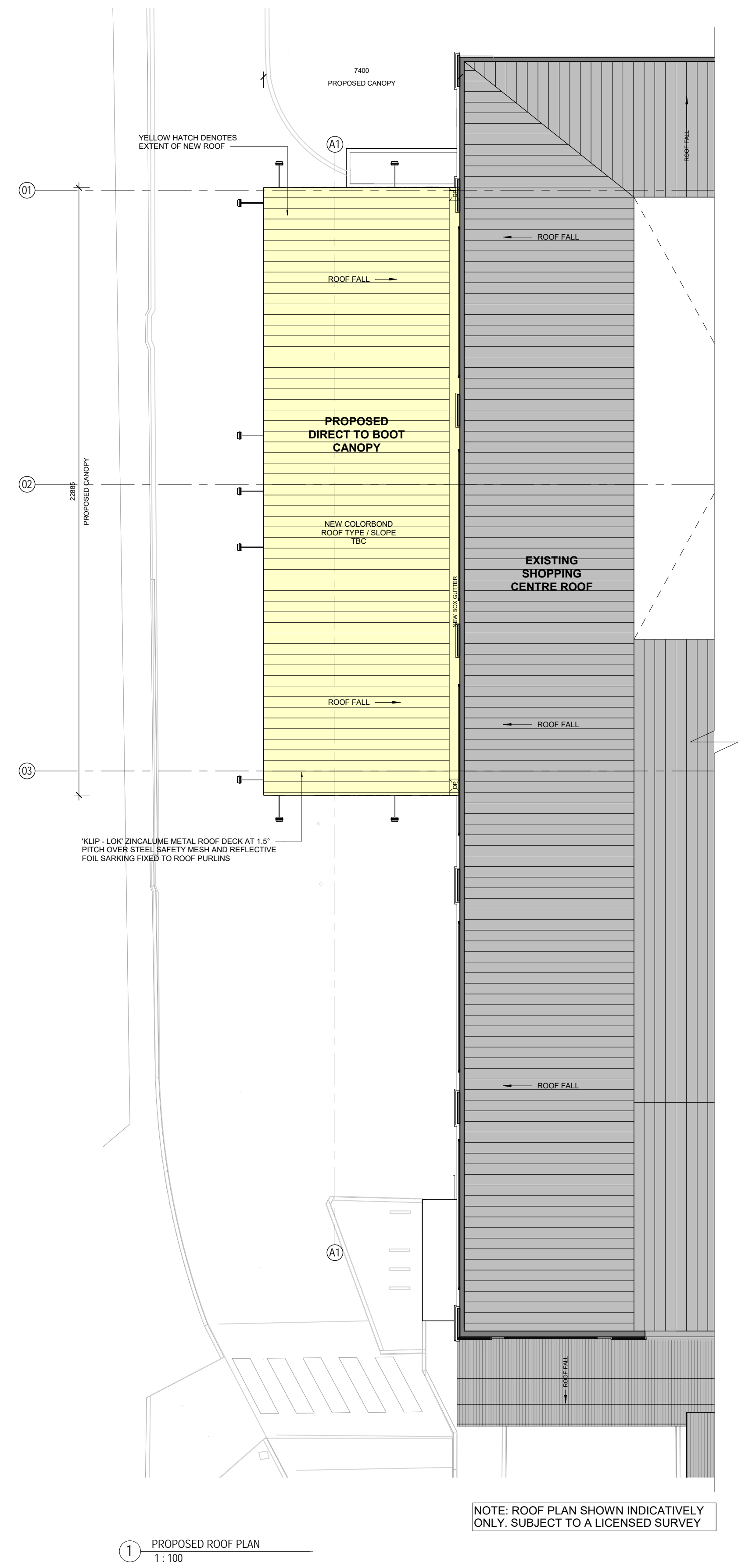
DRAWING	DEMOLITION PLAN - BASEMENT 1 & 2
PROJECT	WOOLWORTHS BOWRAL
DRAWING NO.	TP05
AMEND. NO.	A



TOWN PLANNING

SCALE	As indicated @ A3
REGION / STATE	NSW
PROJECT No.	1162
AMEND. No.	A


CEILING KEY	
	CEILING TYPE - REFER TO LIST BELOW CEILING HEIGHT ABOVE FFL
CEILING TYPE LEGEND	
	COLOURBOND CLADDING (Refer to finishes schedule for details)
CEX	NO CEILING - EXPOSED ROOF STRUCT.
ROOF TYPE LEGEND	
	KLIP-LOK[®] ZINCALUME METAL ROOF (Refer to finish schedule for details)



DRAFTED BP	No.	DRAWING AMENDMENTS (REVISIONS)		DATE	BY
	A.	TOWN PLANNING ISSUE		22-12-23	AB-TRG
NOTES					

Rev: 22/12/2023 Rev 20-404
 Issued for: 2023/11/14, 13:20
 Projected for: 2023/11/14, 13:20
 Rev: 2023/11/14, 13:20
 Rev: 2023/11/14, 13:20

Post: 22/12/2023 8:44:26 AM
Template Version: 2023.07.14.13.30
Shared Parameters Version: RW-OM, 20151216.M
File: \\NFSD\Projects\Woodworth\RW

Woolworths 
The fresh food people

ALL DRAWINGS, SECTIONS ARE IN MILLIMETERS. DO NOT SCALE.
OBJECTS FROM DRAWINGS ALWAYS USE FIGURED DIMENSIONS.

THIS DRAWING TO BE READ IN CONJUNCTION WITH ELECTRICAL, MECHANICAL,
HYDRAULIC, CIVIL, STANDARD DRAWINGS AND CONNECTIONS MANUAL.

THIS DRAWING IS FOR DESIGN QUOTANCE ONLY. FINAL DETAILS MUST MEET THE
SPECIFICATIONS, RELIABLE AUTHORITIES AND APPLICABLE BUILDING STANDARDS.

PROJECT ADDRESS :
CNR BONG BONG ST, BOWRAL, NSW

BLUEPRINT ISSUE


DRAWN BY
BP

APPROVED BY
HB

DRAWING :
**PROPOSED ROOF PLAN
& REFLECTED CEILING
PLAN (DTB)**

ISSUED TO : PROJECT :
WW WOOLWORTHS BOWRAL

STORE 6249



SCALE : 1 : 100 @ A0 ISSUE DATE : 22 12 23

REGION / STATE	PROJECT No :
NSW	1162

DRAWING No: **TP08** AMEND. No: **A**



FINISHES TO BE IN ACCORDANCE WITH (MOST RECENT ISSUE)
WINDY WORTH WISSE, CO. SM. FINISHES SCHEDULE

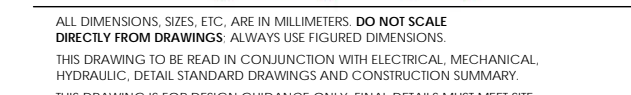
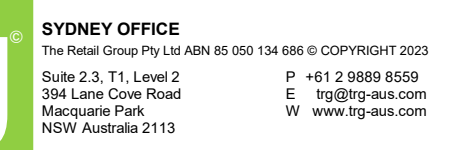
DESTINATION WALL ARTWORK

Destination Wall (example)

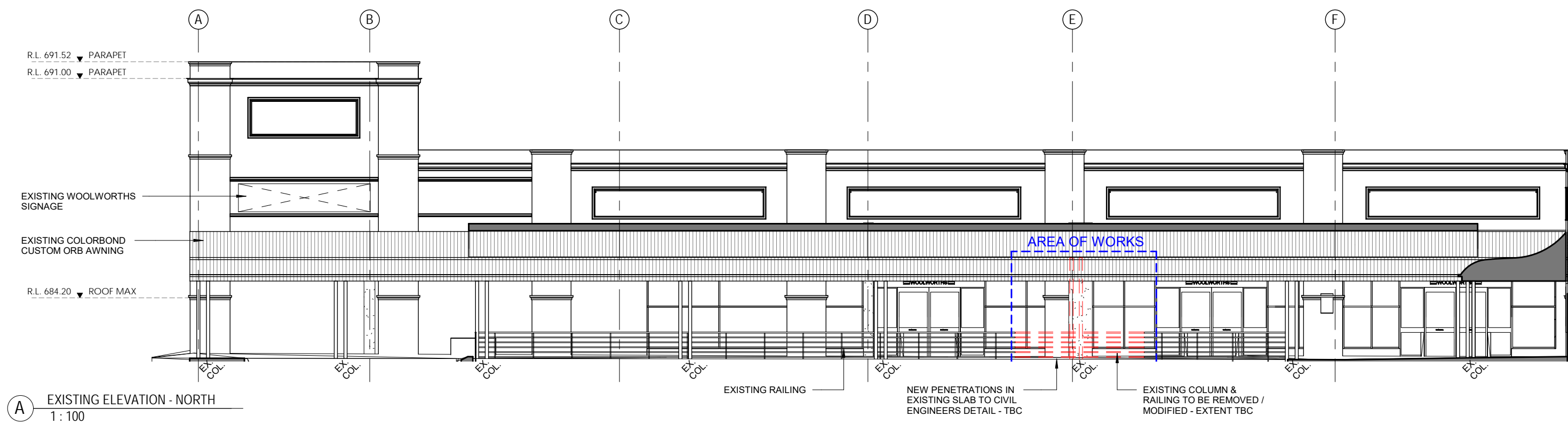


TOWN PLANNING

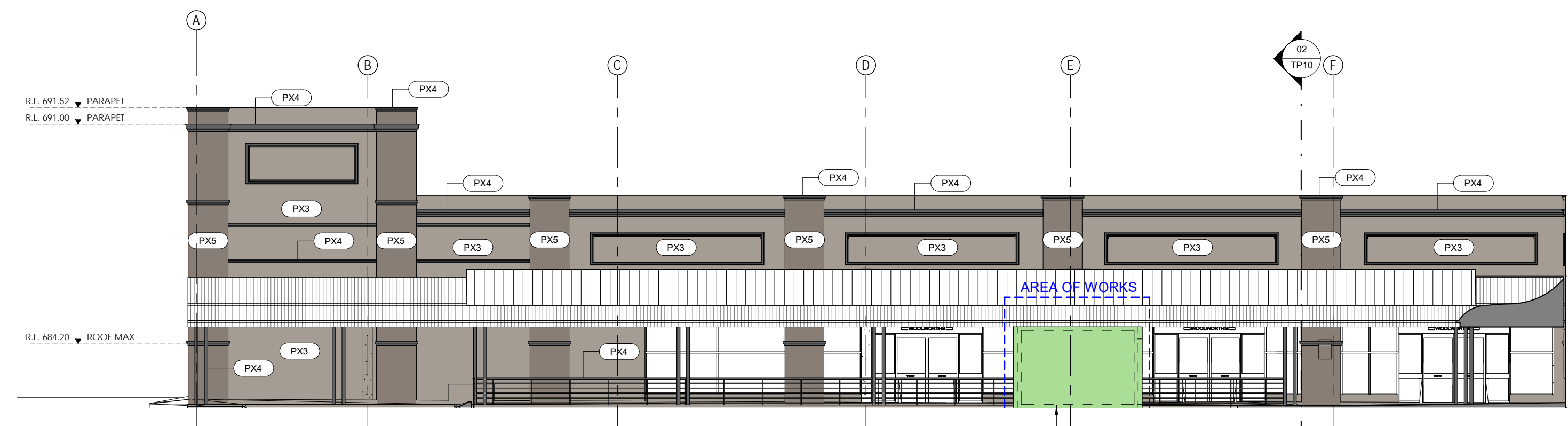
Construction Code Office # 28800 Georgia 2227 Crawford Rd. N.W. - Suite 1000 Marietta,
Proposed 04030627.M



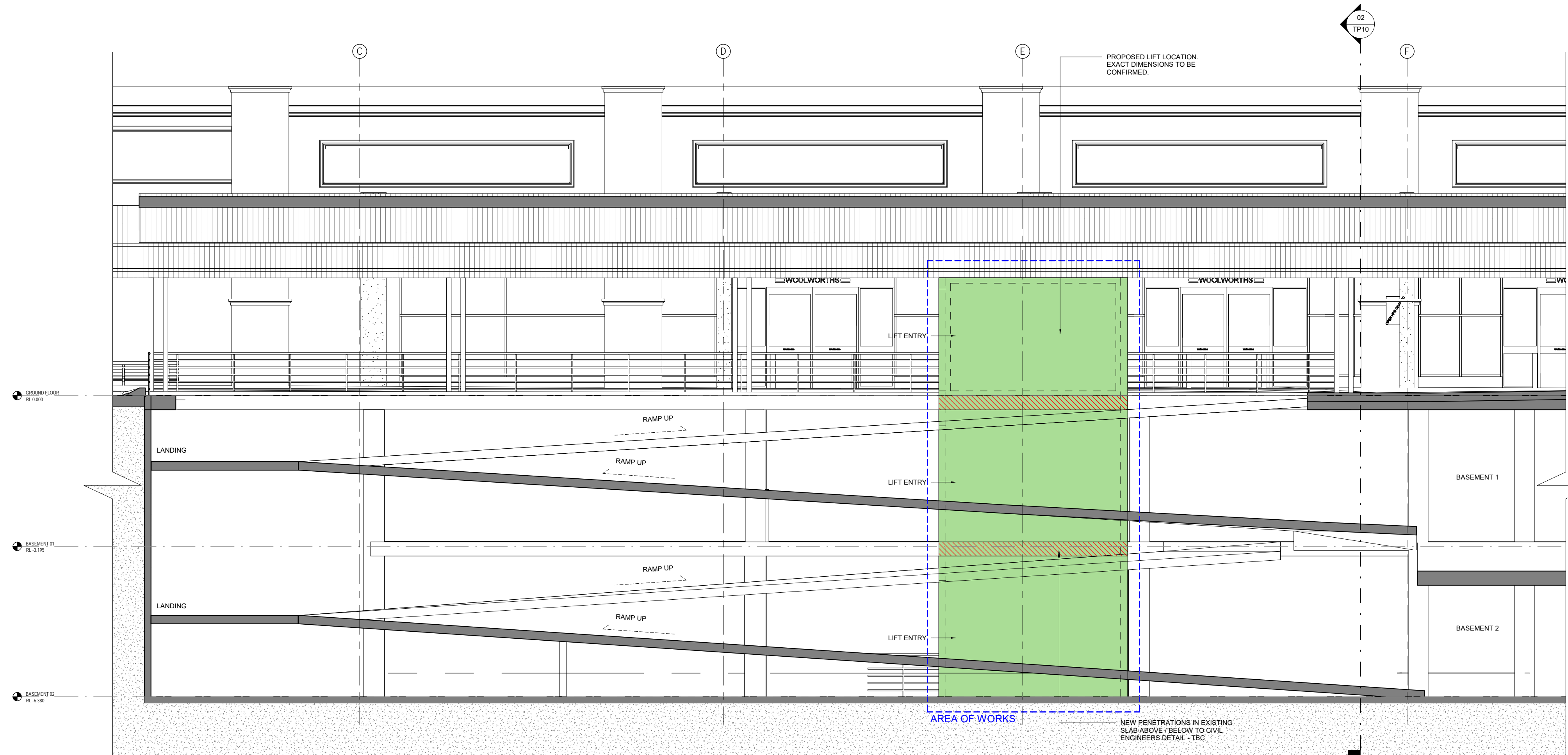
TOWN PLANNING



(A) EXISTING ELEVATION - NORTH
1:100



(B) PROPOSED ELEVATION - NORTH
1:100



(01) SECTION DETAIL 1
1:50



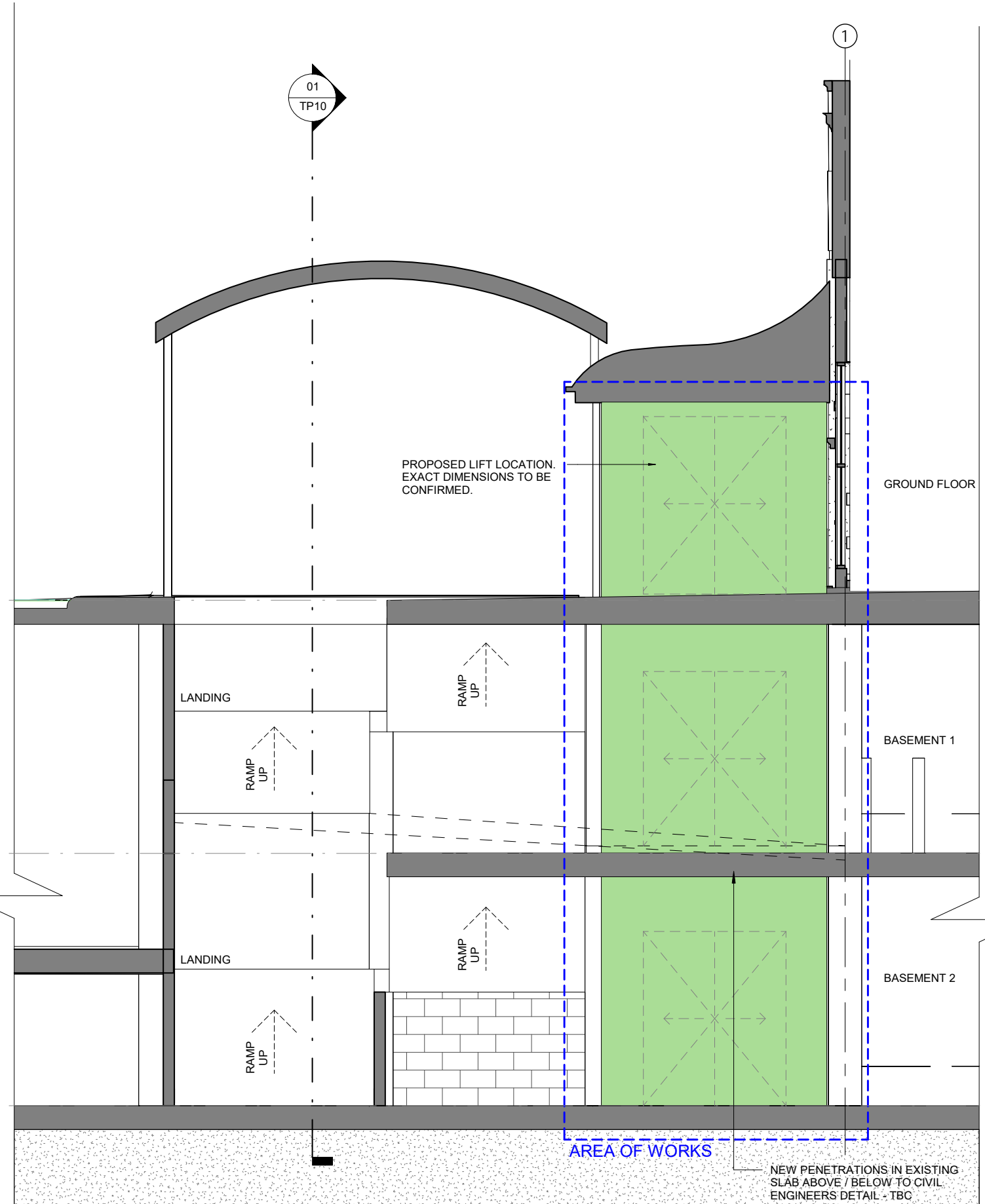
EXISTING PHOTOS

MATERIAL FINISHES SCHEDULE		
CODE	IMAGE	DESCRIPTION
PX3		Description: Dark Weathered Low Sheen Colour: Woolworths Kooli Fir Dulux Shade: A3373
PX4		Description: Dark Weathered Low Sheen Colour: Woolworths Ember Dulux Shade: A3370
PX5		Description: Dark Weathered Low Sheen Colour: Woolworths Clay Dulux Shade: A3385
PF-08		Description: Woolworths Green Court Colour: Woolworths Green Court Dulux Shade: A3375

FINISHES TO BE IN ACCORDANCE WITH (MOST RECENT ISSUE) WOOLWORTHS WOPEC'S USE FINISHES SCHEDULE

GENERAL NOTES

- ALL WALL HEIGHTS ARE INDICATIVE ONLY. THEY ARE DERIVED FROM EXISTING PLANS AND MEASURED FROM GROUND FLOOR LEVEL. A ARE TO BE CONFIRMED.
- MATERIALS & FINISHES ARE INDICATIVE ONLY AND TO BE CONFIRMED.
- THIS PLAN MUST BE PRINTED IN COLOUR IN ORDER TO PROTECT THE INTEGRITY OF THE INFORMATION.
- GRAPHICS TO SIGNAGE ZONES SHOWN INDICATIVELY AND ARE SUBJECT TO CHANGE.

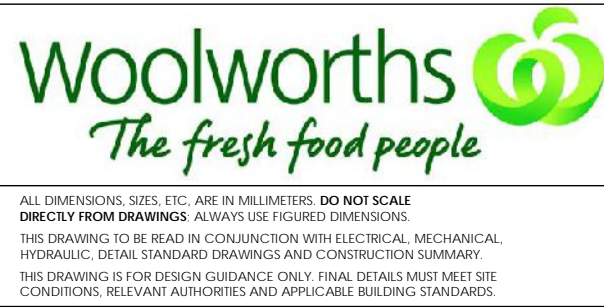


(02) SECTION DETAIL 2
1:50

DRAWING AMENDMENTS (REVISIONS)			
No.		DATE	BY
A	TOWN PLANNING ISSUE	22.12.23	AB/TBC

NOTES

READER: CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO PROCEEDING GROUP. DIMENSIONS GIVEN IN THIS DRAWING ARE INDICATIVE ONLY. THEY ARE DERIVED FROM EXISTING PLANS AND MEASURED FROM GROUND FLOOR LEVEL. A ARE TO BE CONFIRMED. DIMENSIONS GIVEN IN THIS DRAWING ARE INDICATIVE ONLY. THEY ARE DERIVED FROM EXISTING PLANS AND MEASURED FROM GROUND FLOOR LEVEL. A ARE TO BE CONFIRMED. DIMENSIONS GIVEN IN THIS DRAWING ARE INDICATIVE ONLY. THEY ARE DERIVED FROM EXISTING PLANS AND MEASURED FROM GROUND FLOOR LEVEL. A ARE TO BE CONFIRMED.



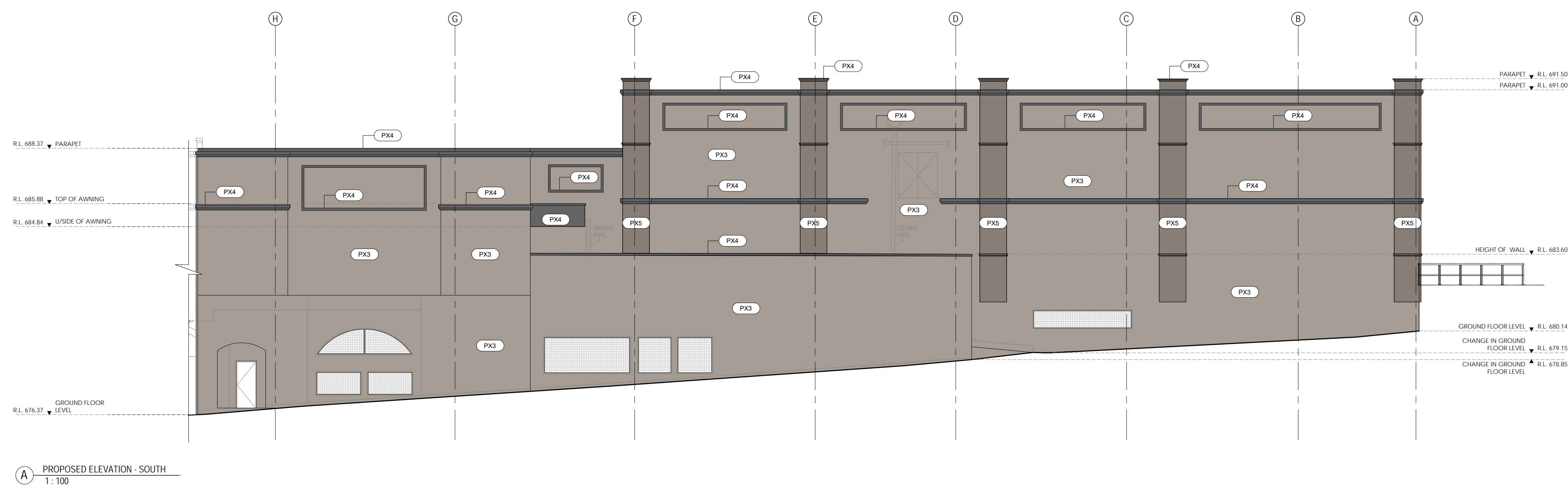
PROJECT ADDRESS CNR BONG BONG ST, BOWRAL, NSW	
BLUEPRINT ISSUE	
DRAWN BY BP	APPROVED BY HB





DRAWING ELEVATIONS & SECTIONS - (LIFT)	
PROJECT WOOLWORTHS BOWRAL	

STORE 6249	SCALE As indicated @ A3	ISSUE DATE 22.12.23
REGION / STATE NSW	PROJECT No. 1162	AMEND No. A

TOWN PLANNING

TOWN PLANNING



MATERIAL FINISHES SCHEDULE		
CODE	IMAGE	DESCRIPTION
PX3		<p>Description: Dulux Waterbased Low Sheen Colour: 'Shadows Green' Faint Fur</p> <p>Description: Walnut Staged Low Sheen Colour: 'Shadows Green' Faint Fur</p> <p>Warranty Code: 101618</p>
PX4		<p>Description: Dulux Waterbased Low Sheen Colour: 'Shadows Green' Faint Fur</p> <p>Dulux Shade: A4370</p> <p>Description: Walnut Staged Low Sheen Colour: 'Shadows Green' Faint Fur</p> <p>Warranty Code: 101618</p>
PX5		<p>Description: Dulux Waterbased Low Sheen Colour: 'Shadows Green' Faint Fur</p> <p>Description: Walnut Staged Low Sheen Colour: 'Shadows Green' Faint Fur</p> <p>Warranty Code: 101618</p>
PF-08		<p>Description: Dulux Wash & Wear Low Sheen Colour: 'Shadows Green' Faint Fur</p> <p>Dulux Code: A1170</p> <p>Description: Dulux Waterbased Low Sheen Colour: 'Shadows Green' Faint Fur</p> <p>Stem: (see VDC)</p> <p>Stem: (see VDC)</p> <p>Warranty Code: 101618</p> <p>Warranty / Colorsignature Code: 31013</p>

FINISHES TO BE USED IN ACCORDANCE WITH MOST RECENT ISSUE
WCC-2018-01-01



EXISTING PHOTOS

[illegible]

MELBOURNE OFFICE
The Retail Group Pty Ltd ABN 85 050 136 688 © - COPYRIGHT 2011
Lvl 3, Suite 37, 799 Springvale Rd P +61 3 9542 9300
Mulgrave F +61 3 9542 9310
Victoria E tg@trg-aus.com
3170 Australia W www.trg-aus.com



ALL DIMENSIONS, SIZES, ETC., ARE IN MILLIMETERS. DO NOT SCALE
OBJECTS FROM DRAWINGS. ALWAYS USE FIGURED DIMENSIONS.

PROJECT ADDRESS:
CNR BONG BONG ST, BOWRAL, NSW

BLUEPRINT ISSUE

BP

APPROVED BY
HB

DRAWING:
ELEVATIONS &
SECTIONS - (BUILDING)

DOC STAGE: TP00 | T

PROJECT:
WOOLWORTHS BOWRA

STORE 6249 SCALE: ISSUE DATE:
As indicated @ 22 12 23

REGION / STATE

NSW 1162

DRAWING No :
TP11

AMEND. No : **A**

TOWN PLANNING

TOWN PLANNING



5 NORTH PERSPECTIVE
Not to Scale



6 NORTH WEST TO LIFT PERSPECTIVE
Not to Scale



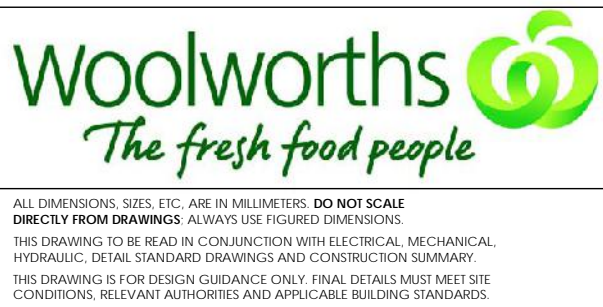
7 NORTH EAST TO LIFT PERSPECTIVE
Not to Scale



8 NORTH PERSPECTIVE
Not to Scale

DRAFTED AB	NOTES	No.	DRAWING AMENDMENTS (REVISIONS)	DATE	BY
		A	TOWN PLANNING ISSUE	22.12.23	AB/TPS

Plan: 22/12/2023 14:00:00
Drawing: 22/12/2023 14:00:00
Project: 22/12/2023 14:00:00
Revision: 22/12/2023 14:00:00
Author: 22/12/2023 14:00:00
Checked: 22/12/2023 14:00:00
Approved: 22/12/2023 14:00:00



PROJECT ADDRESS:
CNR BONG BONG ST, BOWRAL, NSW

BLUEPRINT ISSUE:

DRAWN BY: AB
APPROVED BY: HB
ISSUED TO: WW

DRAWINGS:
3D VIEWS - (LIFT)

STORE 6240

SCALE:
1:1 @ A0

ISSUE DATE:
22.12.23

REGION / STATE:
NSW

PROJECT No:
1162

DRAWING No:
TP13

AMEND No:
A

TOWN PLANNING